



Missing Middle Housing (MMH) Interim Ordinance

City Council | September 17, 2024

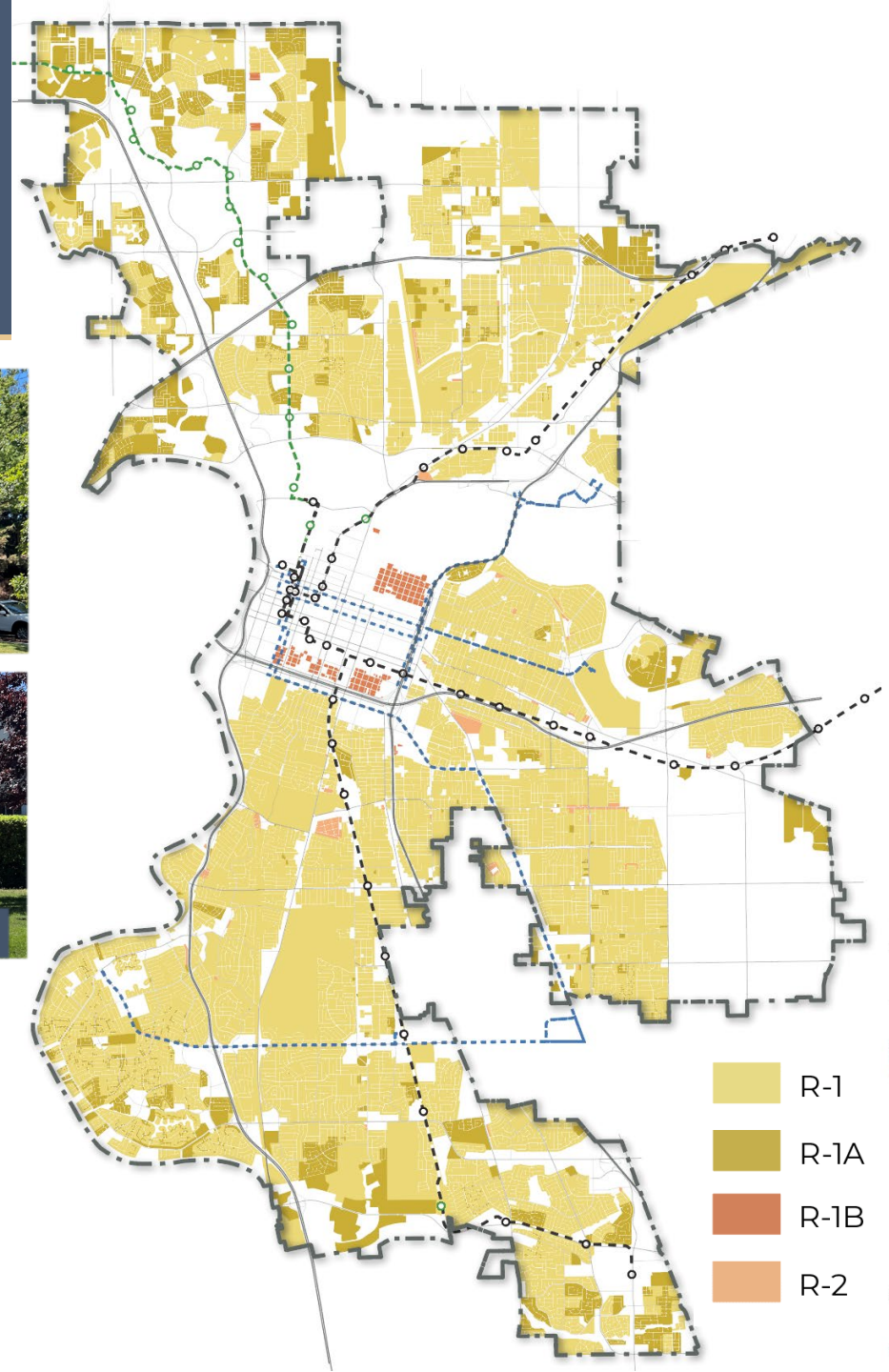
Missing Middle Housing Study



The City shall promote the development of a greater variety of housing types and sizes in all existing and new growth communities to meet the needs of future demographics and changing household sizes.

LUP-6.3 Variety of Housing Types, 2040 General Plan

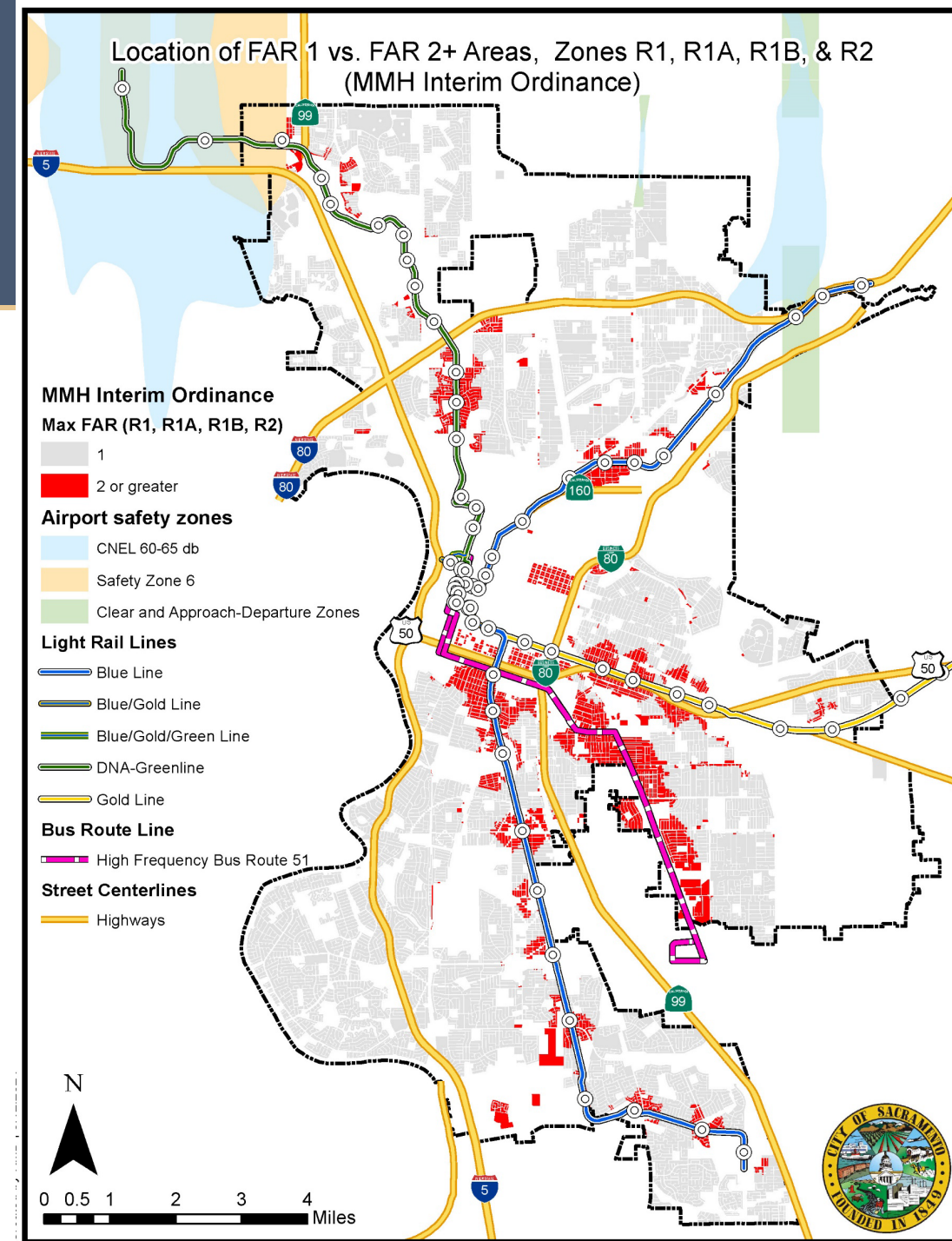
Sacramento City Council, February 27, 2024



City Council Directive & 2040 General Plan

Council directed staff to:

1. Allow **FAR of 2** within half-mile walking distance of existing high-frequency bus stops and existing and planned light rail stations.
2. Proceed with MMH approach that **regulates the building form** through FAR and development standards such as setback, height, and bulk control.



Missing Middle Housing Interim Ordinance

- Interim ordinance that will **broaden the range of housing types allowed** by right in the R-1, R-1A, R-1B, and R-2 zones
- Allow **neighborhood-scale multi-unit dwellings** and small lot development by-right
- Other zones commonly found along corridors and centers already allow higher-intensity housing by-right (R-3, R-4, R-5, RO, RMX, C-1, C-2, & C-3)

Main Components

1. **Built Form Standards**
2. Provisions Related to Trees and **Open Space**
3. Provisions that Encourage Attainability and Promote Ownership Opportunities

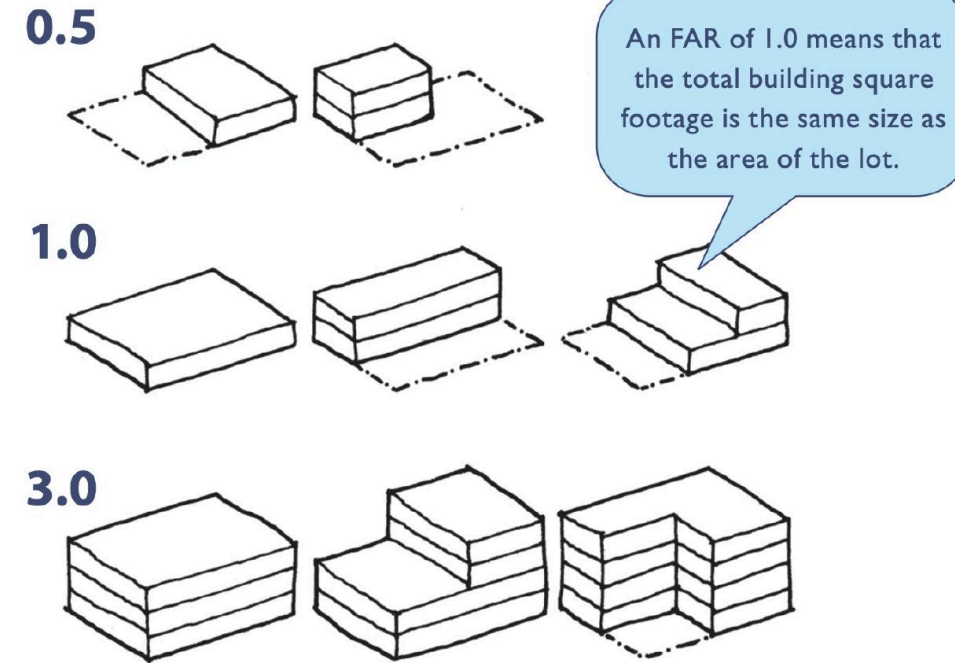
1. Built Form Standards for Neighborhood-Scale

- Removal of density
- Floor area ratio (FAR) limits
- Height limit
- Setback requirements (relaxed within ½ mile from transit)
- Bulk control envelope (relaxed within ½ mile from transit)
- ~~Lot Coverage~~ (relying on setback/open space)

2040 General Plan and FAR (Floor Area Ratio)

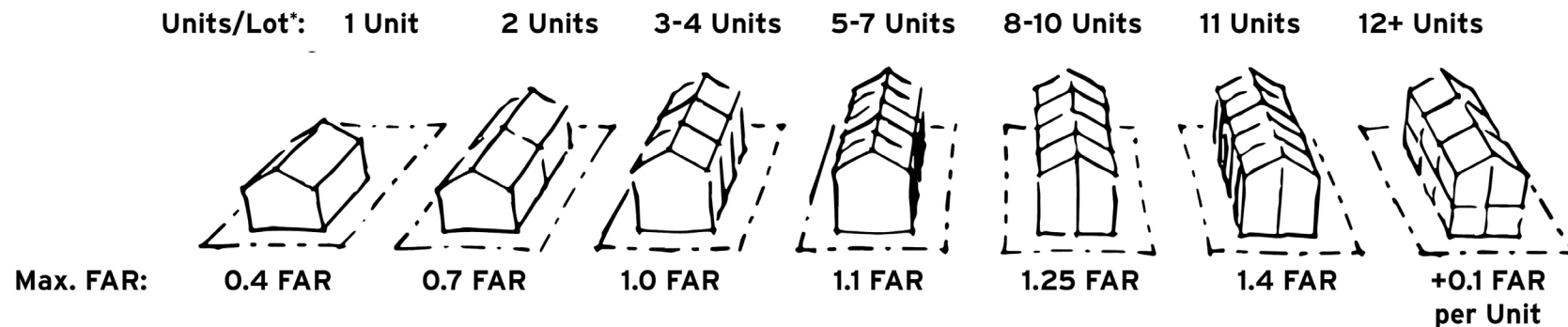
- **Floor Area Ratio (FAR)** regulates the total building floor area allowed on a given lot, proportional to the size of the parcel.

- The **Sliding FAR Scale** grants *increments* of allowed building or *floor area* proportionally to the *number of units* proposed on a given lot.



What is Floor Area Ratio (FAR)?

Figure LUP-5
Sliding FAR Scale



*Units per lot does not include ADUs.

Height, FAR, ~~Lot Coverage~~

Density

- No maximum density limit
- Minimum density established by General Plan

Height

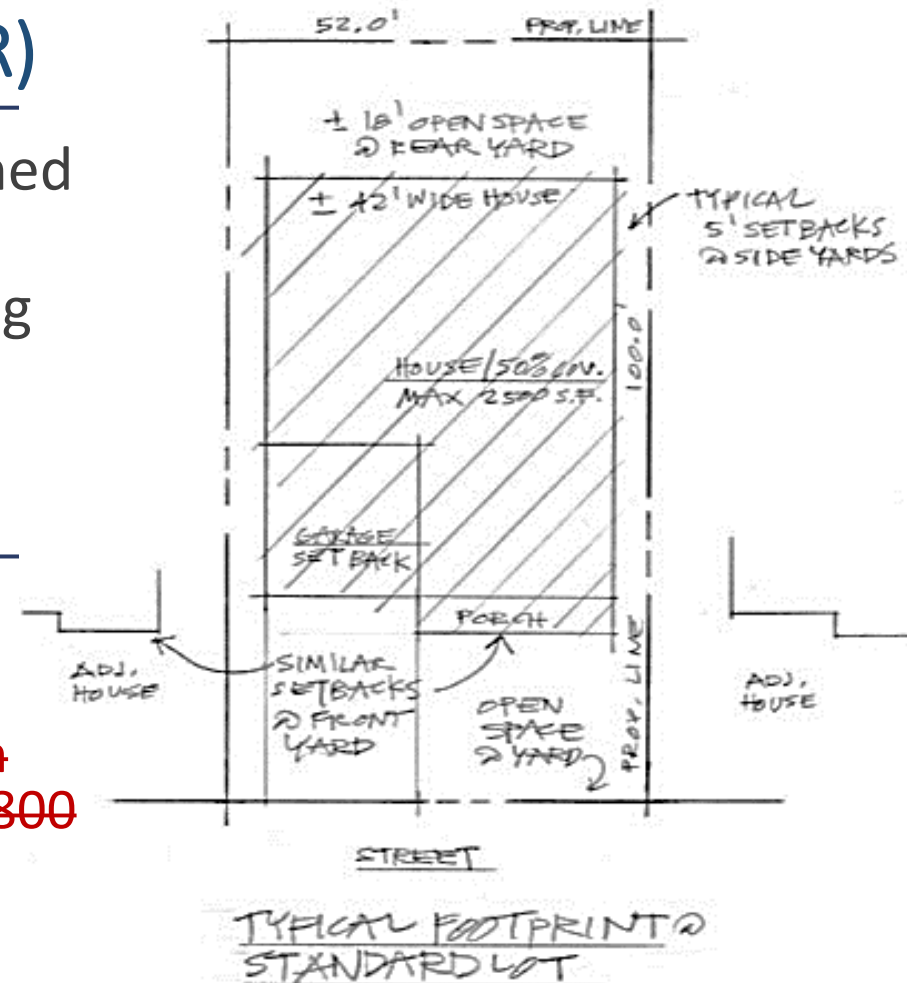
- Maintain current limit of 35'

Floor Area Ratio (FAR)

- Maximum FAR established by General Plan and is further limited by Sliding FAR Scale

~~Lot Coverage~~

- ~~Current in R-1 zone: 40% max.~~
- ~~New: 60% or 800 sq. ft. in Central City SPD; 50% or 800 sq. ft. elsewhere~~



Setback Requirements (FAR of 1)

Interior-Side Setback

- No minimum
- Except when adjacent to single-unit dwelling, then **5'** or **3'** (if lot width is <52')

Rear Setback

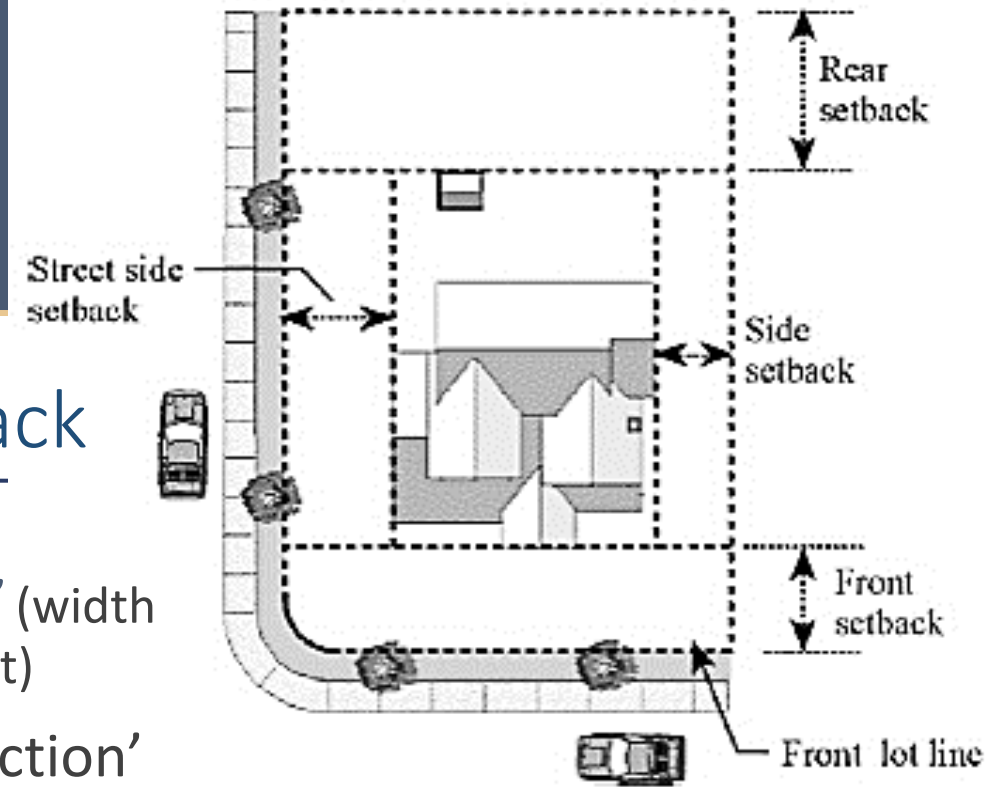
- Maintain current requirement of **15'**
- Except on lots <2,900 sq. ft. or abutting public alley, then **4'**

Street-Side Setback

- Maintain current requirement of **12.5'** (width of Public Utility Easement)
- Allow building 'projection'

Front Setback

- **Match adjacent buildings**
- If none exists, setback is **12.5'**
- Allow front 'projection'



Setback Requirements (FAR of 2)

Interior Side Setback

- No change.

Rear Setback

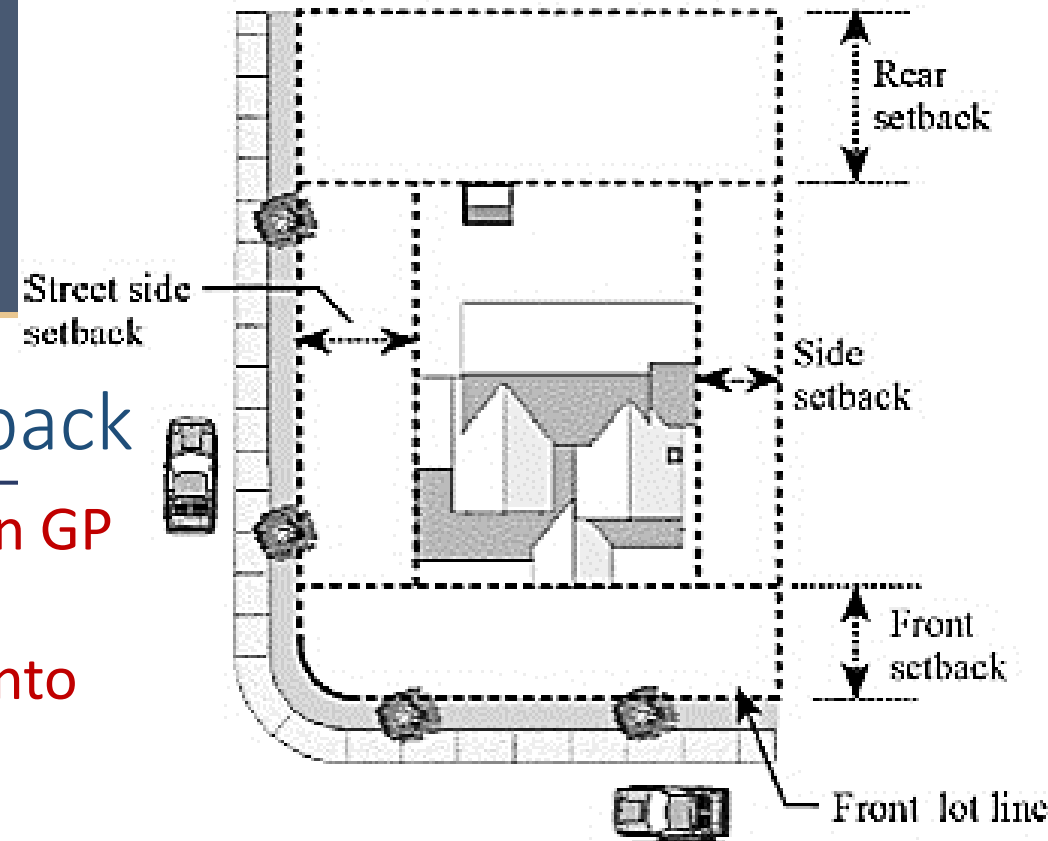
- Minimum is **10'** when GP allows FAR of 2
- Except on lots <2,900 sq. ft. or abutting public alley, then 4'

Street-Side Setback

- Minimum is **5'** when GP allows FAR of 2
- No encroachment into public easement

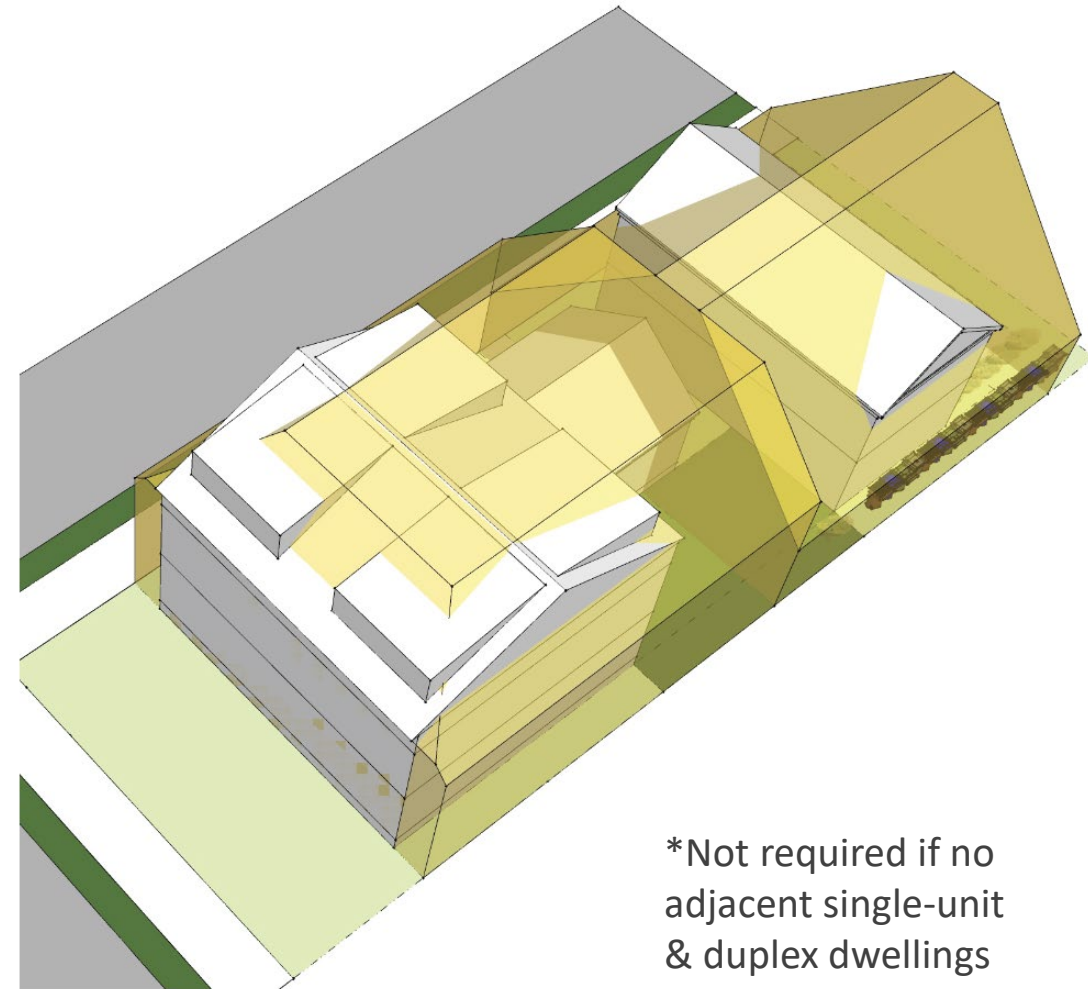
Front Setback

- When GP allows FAR of 2, setback is the least of:
 - 1) **Match** adjacent building, or
 - 2) **12.5'**, or 8' (in Central City)
- Allow front 'projection'



Bulk Control (building volume on 3rd story)

- Projects with 3+ primary units must be contained within a “tent” bounded by*:
 - Side planes: Vertical planes that begin at side lot lines and rise **16’ high**, at which point, the planes continue at a 45-degree angle to form the roof planes (allows 21’ of vertical height w/ 5’ setbacks)
 - Front plane: Vertical plane at primary front façade that rises **20’ high** (allows 20’ of front wall)
 - Roof plane: Dormers/extensions are conditionally allowed.
 - FAR of 1: Aggregate length limited to 60% of the width of the main wall below
 - **FAR of 2: No restriction on aggregate length**



*Not required if no adjacent single-unit & duplex dwellings

Built Form Standards Working Together

- Shared Open Space
- Tree Protection and Planting
- Driveway Width
- Projection into Front Setback
- Functional Porch as an Active Frontage
- Shared Waste Receptacles
- Modified Bulk Control Envelope
- Additional Units with Street-Facing Entrances
- Dormers to Provide More Usable Roof Space

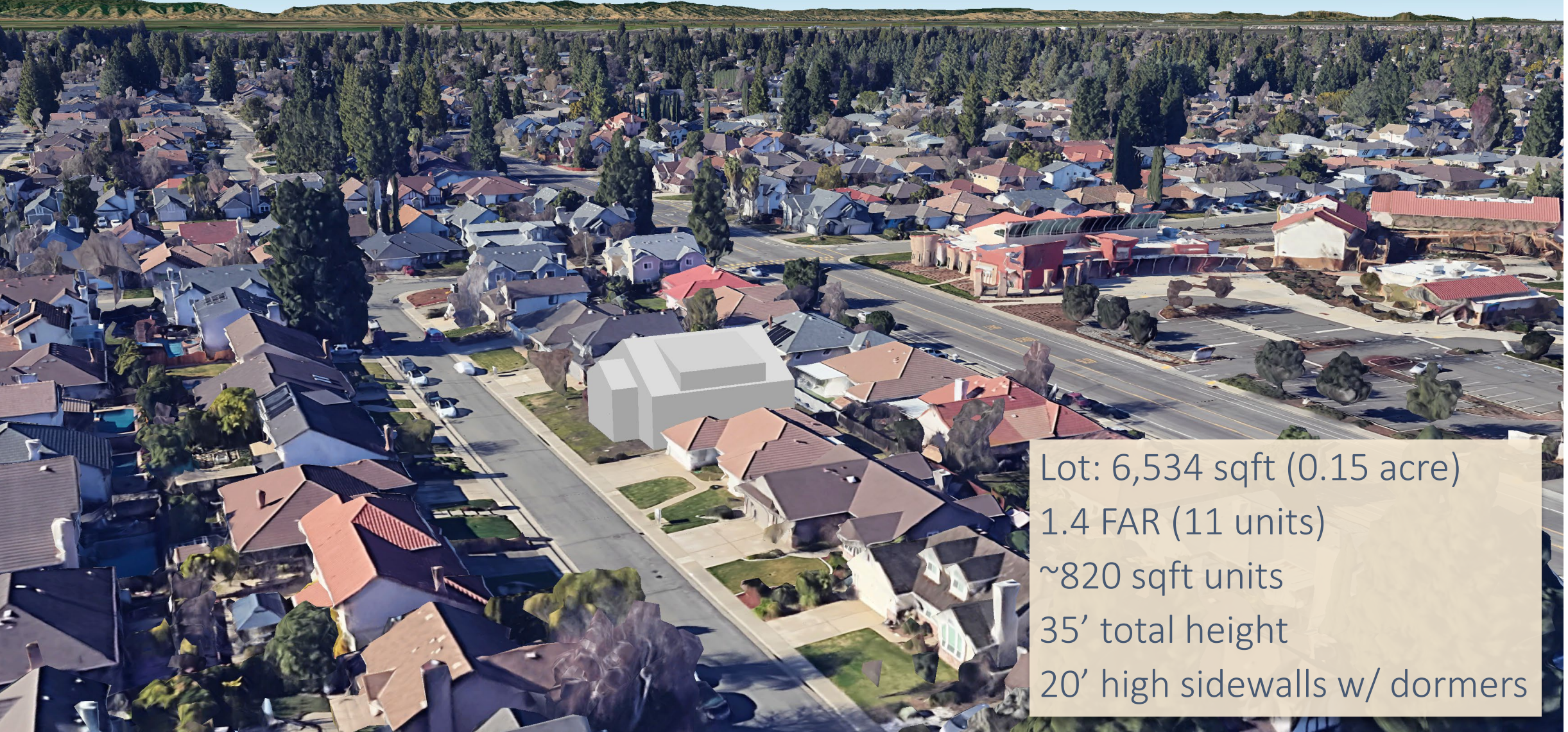


Case Study: 1.4 FAR w/ Bulk Control

Untitled Map

Write a description for your map.

Legend



Lot: 6,534 sqft (0.15 acre)
1.4 FAR (11 units)
~820 sqft units
35' total height
20' high sidewalls w/ dormers


Case Study: 1.5 FAR w/o Bulk Control

Untitled Map

Write a description for your map.

Legend

Heart Court Manor

An aerial photograph of a residential neighborhood with a central grey 3D model of a building. The model is a simple rectangular prism with a flat roof, positioned on a lot. The surrounding area shows various houses with different roof colors (red, grey, brown) and green trees. In the background, there are rolling hills with more trees under a clear blue sky.

Lot: 6,534 sqft (0.15 acre)
1.5 FAR (12 units)
~800 sqft units
35' high sidewalls



2. Trees and Open Space

- Tree Planting Requirement to Shade Sidewalk/Street
- Zoning Incentives to:
 - Encourage preservation of mature trees
 - Encourage planting of large shade species
- Open Space Requirements (**reduced within ½ mile from transit**)
 - Encourage shared, functional outdoor space
 - Encourage additional tree shading
 - **Revised to function similarly to lot coverage to ensure adequate outdoor space**

Open Space

- Revisions in red

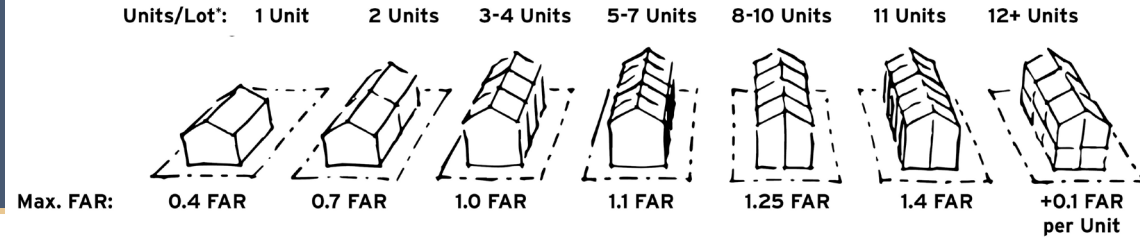


Developments with 2 or more primary units must provide open space as follows:

1. **Central City SPD:** according to current ratios in City Code (25 or 50 sf per unit)
2. **FAR 1:** 400 sq. ft. OR 125 sq. ft. per unit whichever is greater
3. **FAR 2:** 400 sq. ft. OR 75 sq. ft. per unit, whichever is greater
4. Allow overlap w/ setbacks if a *functional, shared open space* is provided and meets design criteria (**e.g. 15' by 15' minimum dimension**), including tree shading.

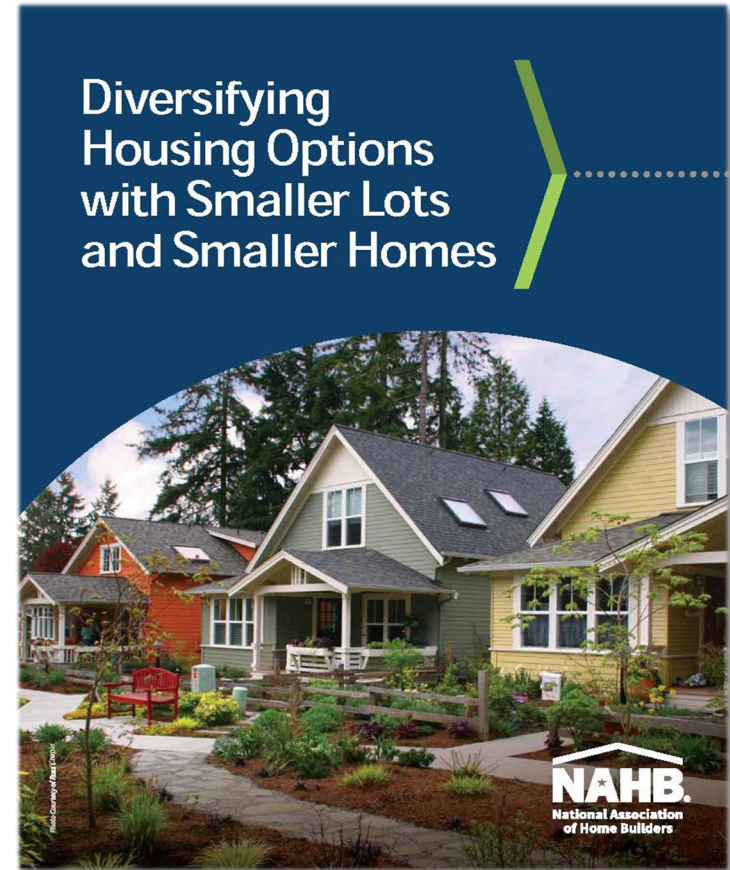
3. Attainability + Ownership

Figure LUP-5
Sliding FAR Scale



*Units per lot does not include ADUs.

- **Smaller homes on smaller lots:**
 - Reduce minimum lot size to **1,200 sq. ft.** from 5,200
 - Reduce minimum lot width to **16'**, but increase by 4' if adjacent to neighboring single-unit dwelling
- **Protect vulnerable residents & preserve affordable housing:**
 - Cannot result in less units
 - Cannot demolish units occupied by tenant in past year
 - Cannot demolish regulated affordable units
- **Sliding FAR Scale:**
 - Incentivizes production of smaller, more attainable units



Attainability for All?

- MMH can produce lower-cost housing *attainable to middle-income households*
- Acknowledging that median annual household incomes vary between racial groups
- MMH is only one piece of the housing puzzle and *more work needs to be done*

Head of Household Race	Black or African American	Native American, Native Hawaiian, Pacific Islander	Hispanic White (no other race)	Other, Two or more races	Asian	White
Median Annual Household Income*	\$57,400	\$72,200	\$72,500	\$71,800	\$90,100	\$89,400
SF Home Cost Burden	198%	157%	157%	158%	126%	127%
Duplex Cost Burden	61%	48%	48%	48%	39%	39%
Fourplex Cost Burden	46%	36%	36%	37%	29%	29%
ADU Cost Burden	40%	32%	32%	32%	26%	26%
% of Sacramento Households	13%	2%	7%	21%	17%	41%

*Median Annual Household Income in 2022 inflation adjusted dollars (5-year ACS Census data)

Economic Analysis Findings

Average Unit Price	
Base Case	Alternative
\$602,378	\$420,148

Market Feasible Capacity	
Base Case	Alternative
+1,638	+8,400

Next Steps

- Anticipated effective date: **October 17, 2024**
- Comprehensive update to Title 17 for GP consistency:
 - **Anticipated completion by end of 2025**
 - **Will fold in MMH Interim Ordinance**
- Potential Longer-Term Strategies
 - **Local Bonus Program to incentivize deed-restricted MMH**
 - **Update City's Condominium Conversion Ordinance**
 - **Update driveway standards**

Please sign up for email updates at www.cityofsacramento.org/MMH

Planning & Design Commission's Recommendation (August 8, 2024)

- Passed a motion to forward to the City Council:
 - A recommendation to approve the resolution for environmental review and the interim ordinance, with a revision to the ordinance so that the bulk control standard in section 7.B would not apply to sites designated with a maximum FAR of 2 or greater by the 2040 General Plan.

Staff Recommendation

- 1) Adopt a **Resolution** determining that the MMH Interim Ordinance is a subsequent project within the scope of the Master Environmental Impact Report for the 2040 General Plan; and
- 2) Adopt the proposed **MMH Interim Ordinance**.



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