

A white silhouette of a city skyline is positioned horizontally across the middle of the slide, behind the main text. It features various building shapes, including several tall, thin towers on the right side.

# Missing Middle Housing (MMH) Interim Ordinance

Law & Legislation Committee | August 20, 2024

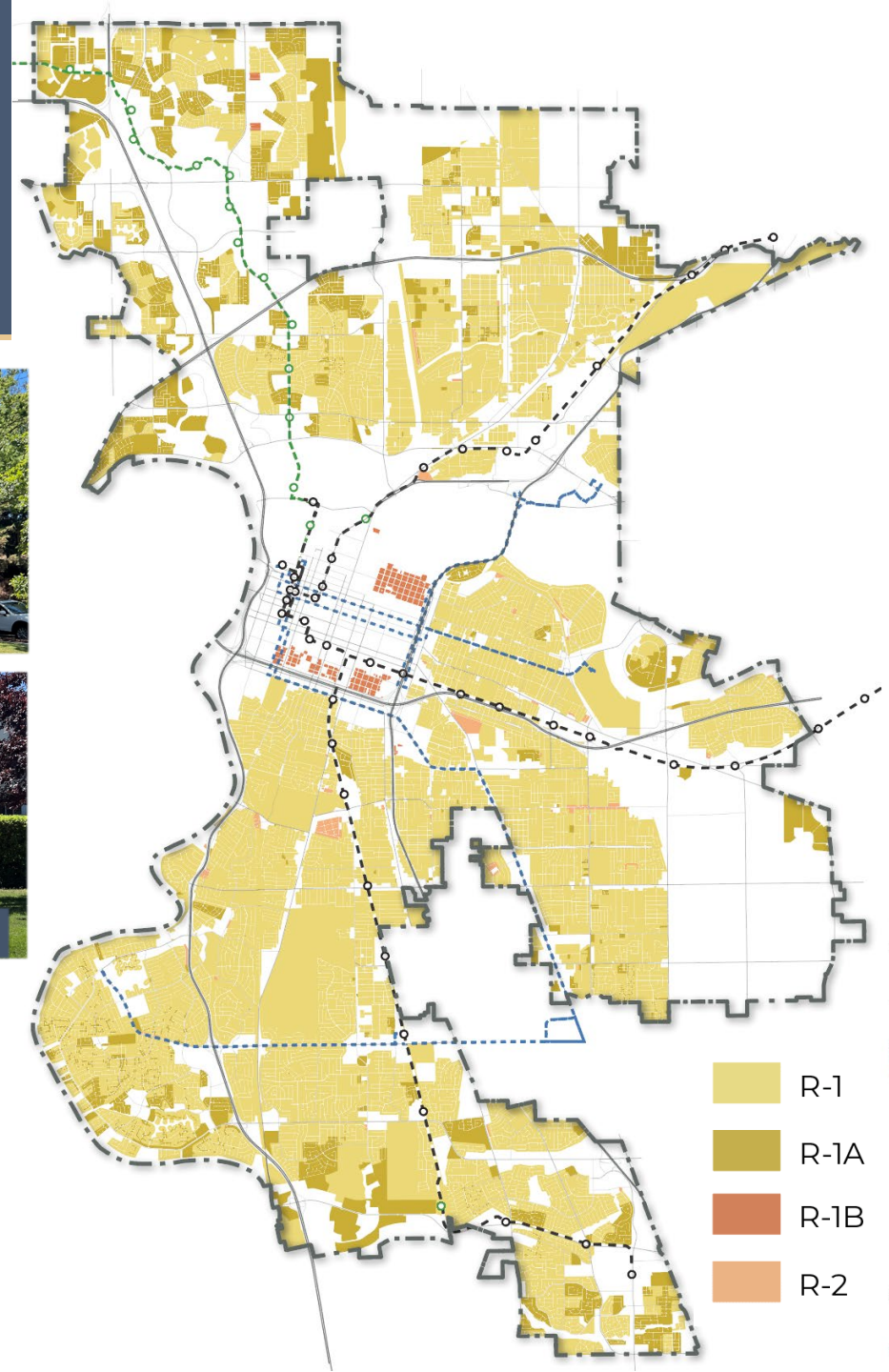
# MMH Study



The City shall promote the development of a greater variety of housing types and sizes in all existing and new growth communities to meet the needs of future demographics and changing household sizes.

## LUP-6.3 Variety of Housing Types, 2040 General Plan

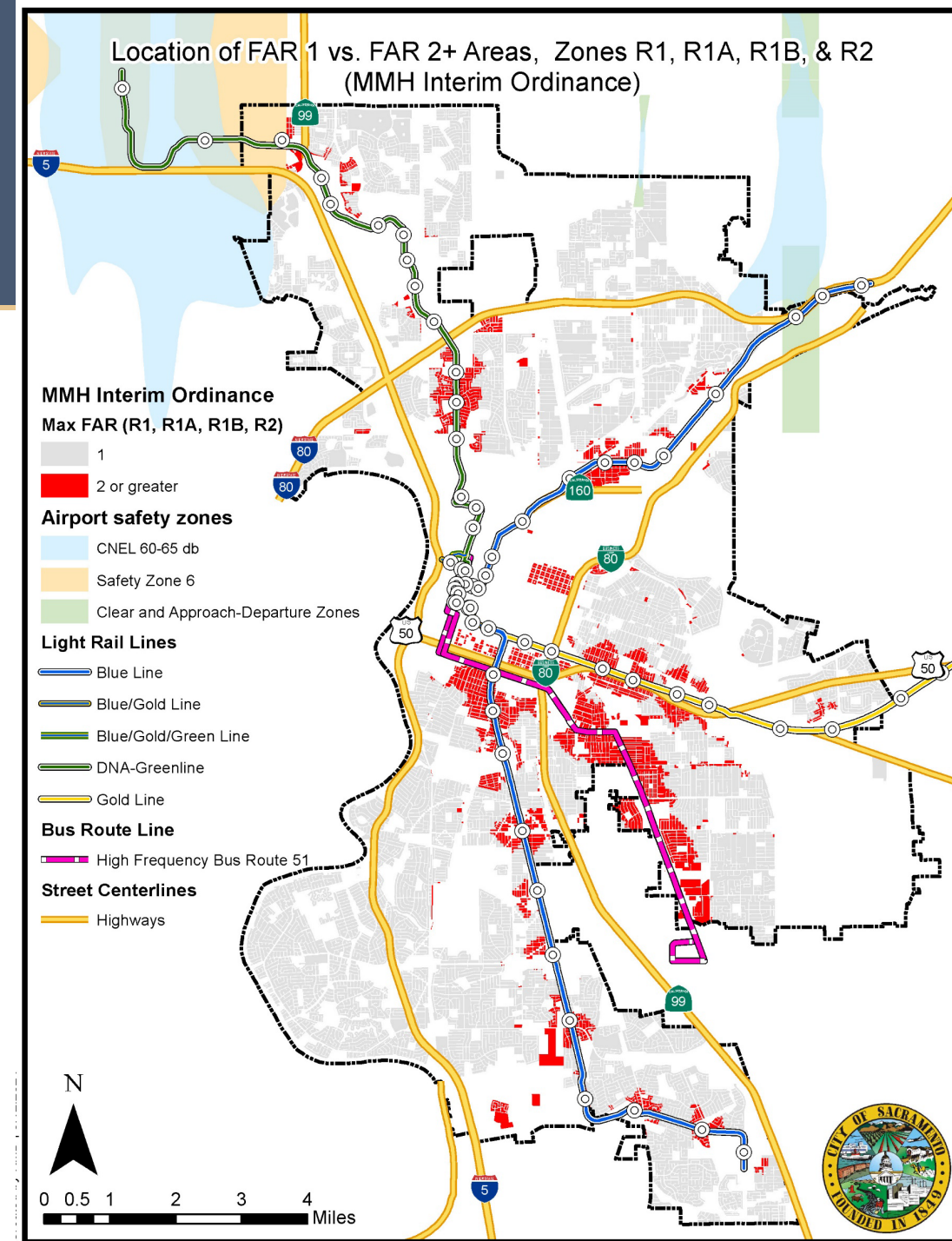
*Sacramento City Council, February 27, 2024*



# City Council Directive & 2040 General Plan

Council directed staff to:

1. Allow **FAR of 2** within half-mile walking distance of existing high-frequency bus stops and existing and planned light rail stations.
2. Proceed with MMH approach that **regulates the building form** through FAR and development standards such as setback, height, and bulk control.



# Missing Middle Housing Interim Ordinance

- 2040 GP Implementing Action LUP-A.10 (Planning & Development Code Update)
- Uncodified interim ordinance that will broaden the range of housing types allowed by right in the R-1, R-1A, R-1B, and R-2 zones
- Allow neighborhood-scale multi-unit dwellings and small single-unit dwellings on significantly reduced lot size

## Main Components

1. **Built Form Standards**
2. Provisions Related to Trees and **Open Space**
3. Provisions that Encourage Attainability and Promote Ownership Opportunities

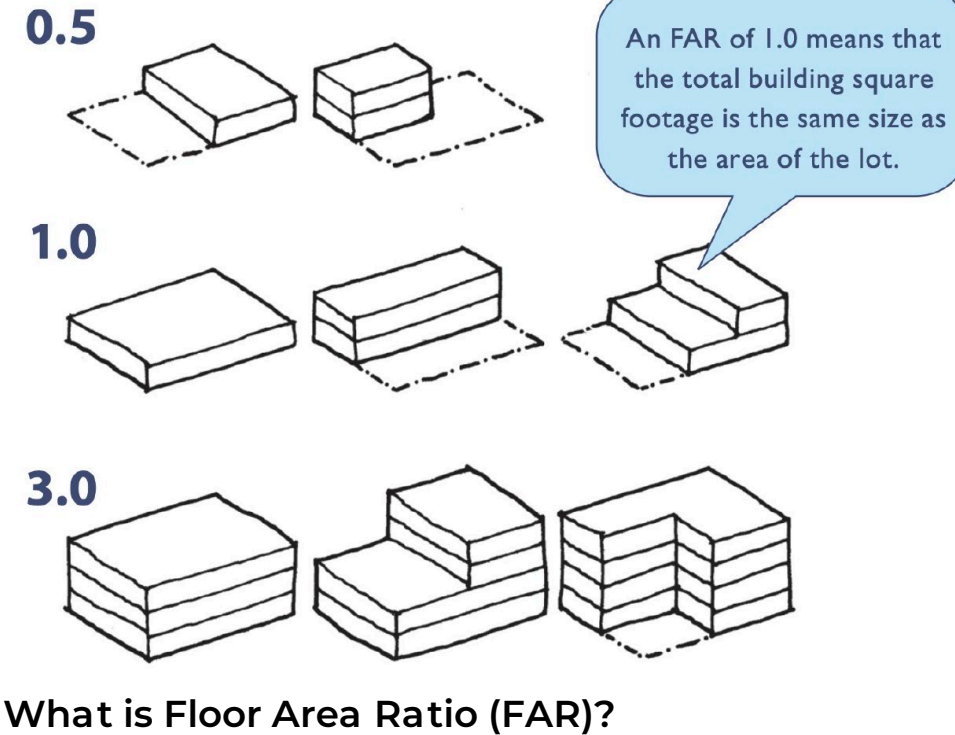
# 1. Built Form Standards for Neighborhood-Scale

- Removal of density
- Floor area ratio (FAR) limits
- Height limit
- Setback requirements (relaxed within ½ mile from transit)
- Bulk control envelope (relaxed within ½ mile from transit)
- ~~Lot Coverage~~ (relying on setback/open space)

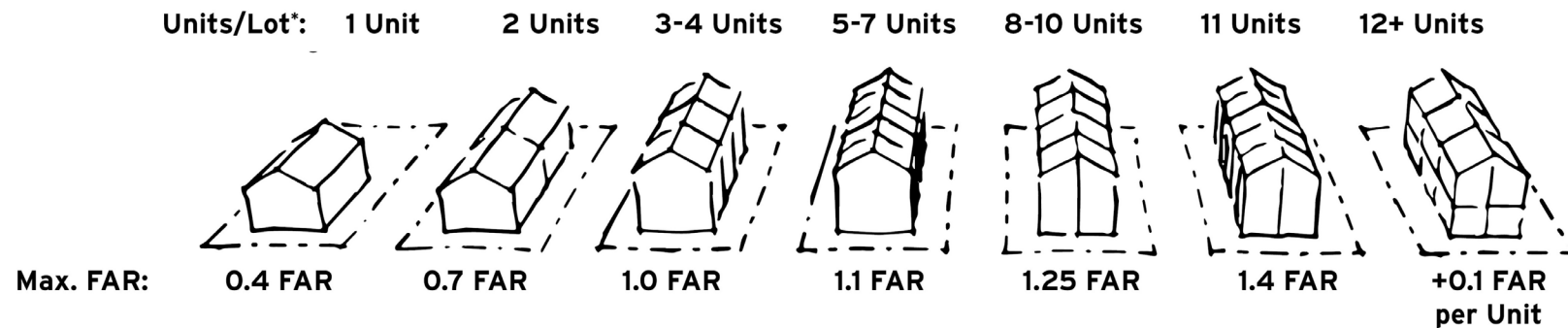
# 2040 General Plan and FAR (Floor Area Ratio)

- **Floor Area Ratio (FAR)** restricts the total building floor area allowed on a given lot, proportional to the size of the parcel.

- The **Sliding FAR Scale** grants *increments* of allowed building or *floor area* proportionally to the *number of units* proposed on a given lot.



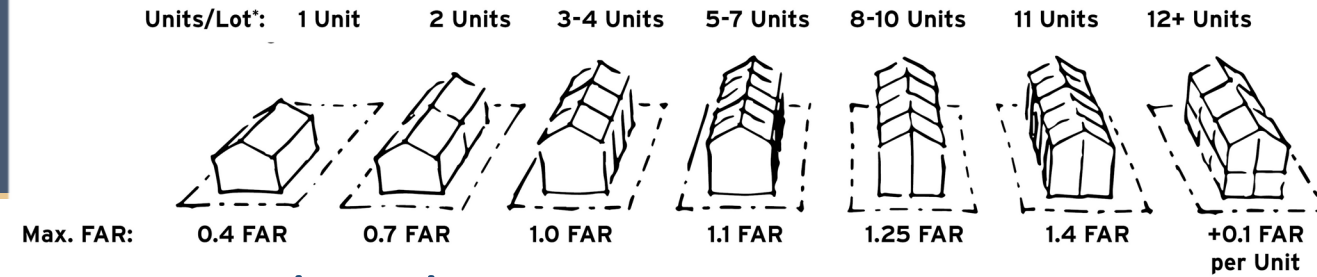
**Figure LUP-5  
Sliding FAR Scale**



\*Units per lot does not include ADUs.

# Height, FAR, ~~Lot Coverage~~

Figure LUP-5  
Sliding FAR Scale



## Density

- No maximum density limit
- Minimum density established by General Plan

## Height

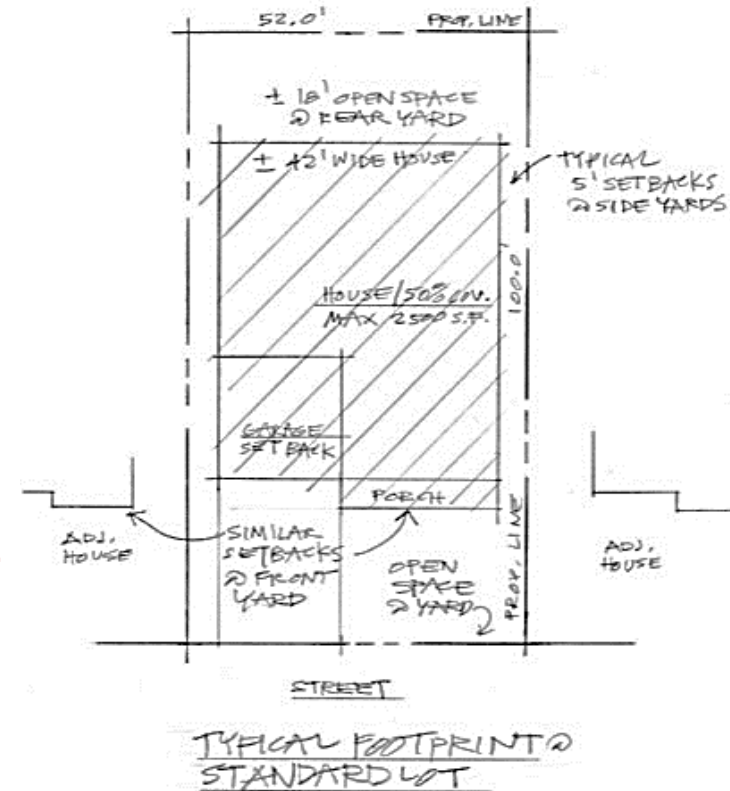
- Maintain current limit of 35'

## Floor Area Ratio (FAR)

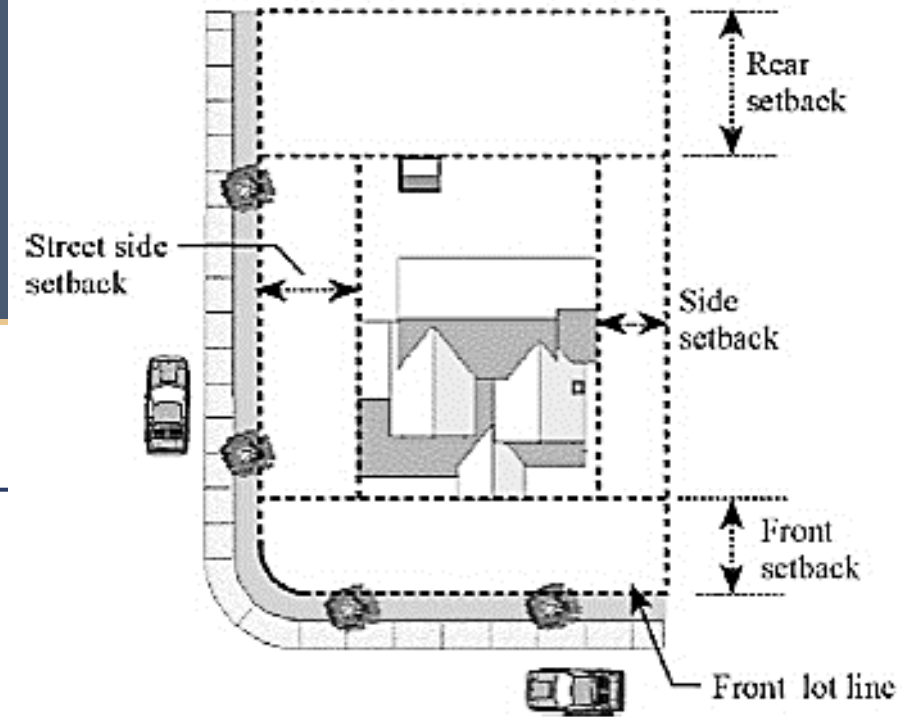
- Maximum FAR established by General Plan and is further limited by Sliding FAR Scale

## ~~Lot Coverage~~

- ~~Current in R-1 zone: 40% max.~~
- ~~New: 60% or 800 sq. ft. in Central City SPD; 50% or 800 sq. ft. elsewhere~~



# Setback Requirements (FAR of 1)



## Interior-Side Setback

- No minimum
- Except when adjacent to single-unit dwelling, then 5' or 3' (if lot width is <52')

## Rear Setback

- Maintain current requirement of **15'**
- Except on lots <2,900 sqft. or abutting public alley, then 4'

## Street-Side Setback

- Maintain current requirement of **12.5'** (standard width of PUE)
- Allow building 'projection'

## Front Setback

- **Match** adjacent buildings
- If none exists, setback is 12.5'
- Allow front 'projection'



# Setback Requirements (FAR of 2)

## Interior Side Setback

- No change.

## Rear Setback

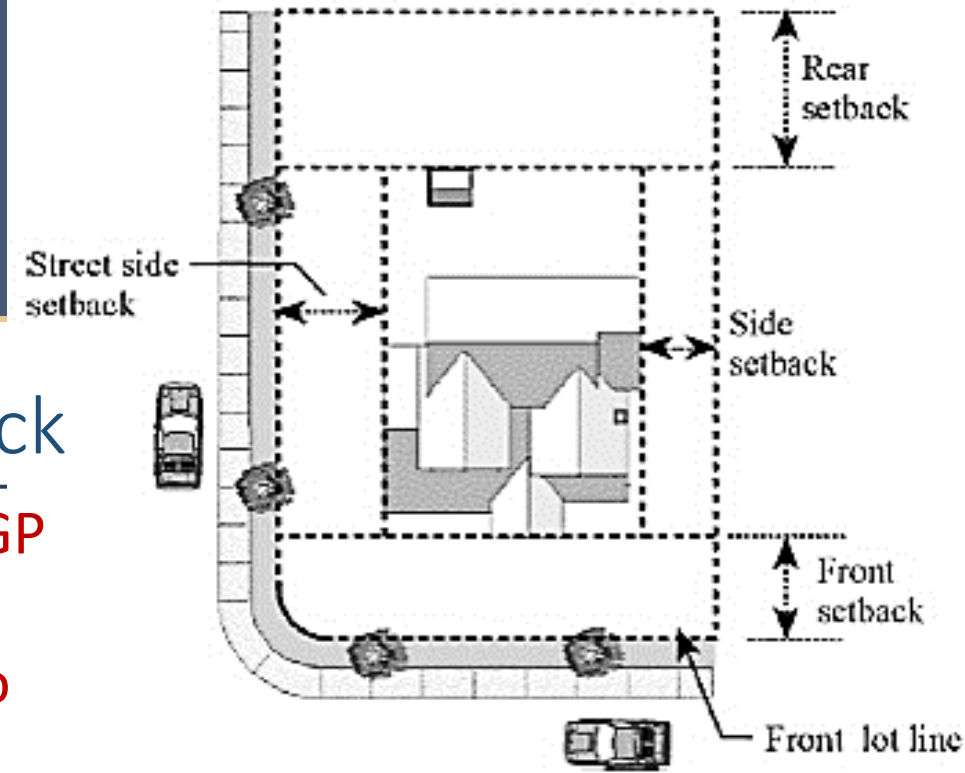
- Minimum is **10'** when GP allows FAR of 2
- Except on lots <2,900 sqft. or abutting public alley, then 4'

## Street-Side Setback

- Minimum is **5'** when GP allows FAR of 2
- No encroachment into public easement

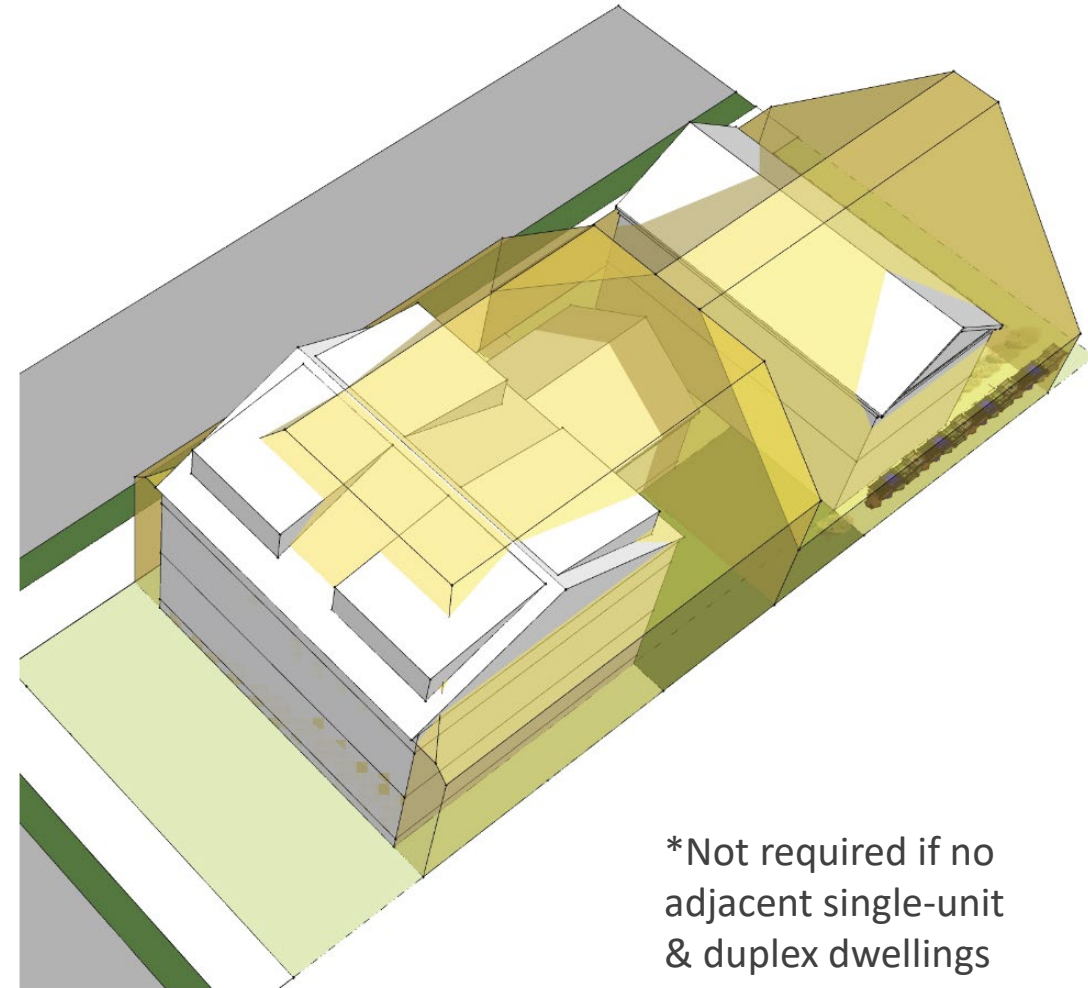
## Front Setback

- When GP allows FAR of 2, setback is the least of:
  - 1) Match adj. building, or
  - 2) 12.5' or 8' (Central City SPD)
- Allow front 'projection'



# Bulk Control (building volume on 3<sup>rd</sup> floor)

- Projects with 3+ primary units must be contained within a “tent” bounded by\*:
  - Side planes: Vertical planes that begin at side lot lines and rise **16’ high**, at which point, the planes continue at a 45-degree angle to form the roof planes (allows 21’ of vertical height w/ 5’ setbacks)
  - Front plane: Vertical plane at primary front façade that rises **20’ high** (allows 20’ of front wall)
  - Roof plane: Dormers/extensions are conditionally allowed.
    - FAR of 1: Aggregate length limited to 60% of the width of the main wall below
    - **FAR of 2: No restriction on aggregate length**



\*Not required if no adjacent single-unit & duplex dwellings

# Built Form Standards Working Together

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- Shared Open Space
- Tree Protection and Planting
- Driveway Width
- Projection into Front Setback
- Functional Porch as an Active Frontage
- Shared Waste Receptacles
- Modified Bulk Control Envelope
- Additional Units with Street-Facing Entrances
- Dormers to Provide More Usable Roof Space

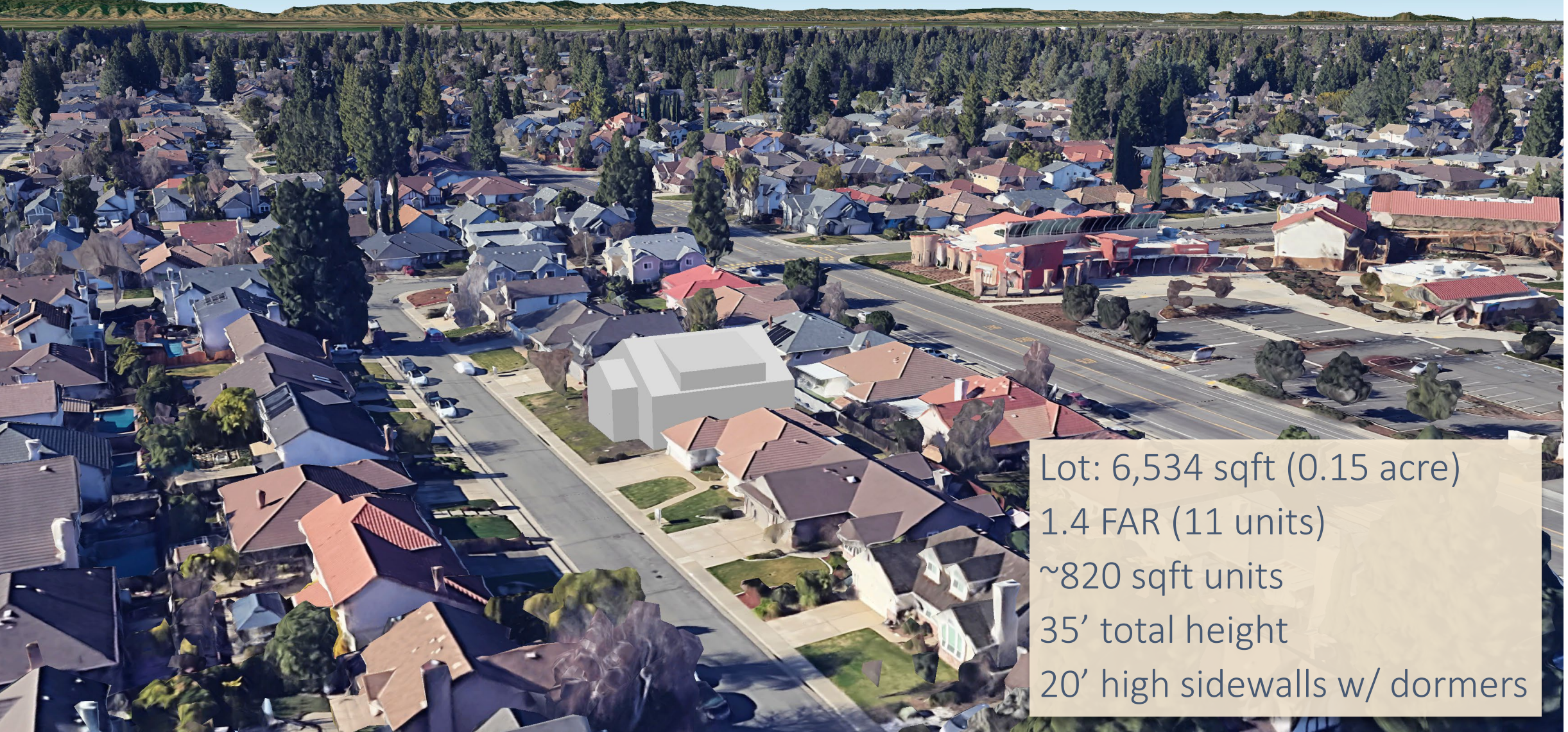


# Case Study: 1.4 FAR w/ Bulk Control

Untitled Map

Write a description for your map.

Legend



Lot: 6,534 sqft (0.15 acre)  
1.4 FAR (11 units)  
~820 sqft units  
35' total height  
20' high sidewalls w/ dormers


# Case Study: 1.5 FAR w/o Bulk Control

Untitled Map

Write a description for your map.

Legend

Heart Court Manor

An aerial photograph of a residential neighborhood. In the center, a grey, rectangular 3D model of a building is superimposed on the landscape. The surrounding area consists of numerous houses with various roof colors (red, grey, brown) and green lawns. In the background, there is a dense line of tall evergreen trees under a clear blue sky. The overall scene is a mix of existing residential structures and a proposed new building.

Lot: 6,534 sqft (0.15 acre)  
1.5 FAR (12 units)  
~800 sqft units  
35' high sidewalls



## 2. Trees and Open Space

- Tree Planting Requirement to Shade Sidewalk/Street
- Zoning Incentives to:
  - Encourage preservation of mature trees
  - Encourage planting of large shade species
- Open Space Requirements (**reduced within ½ mile from transit**)
  - Encourage shared, functional outdoor space
  - Encourage additional tree shading
  - **Revised to function similarly to lot coverage to ensure adequate outdoor space**

# Open Space

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- Revisions in red

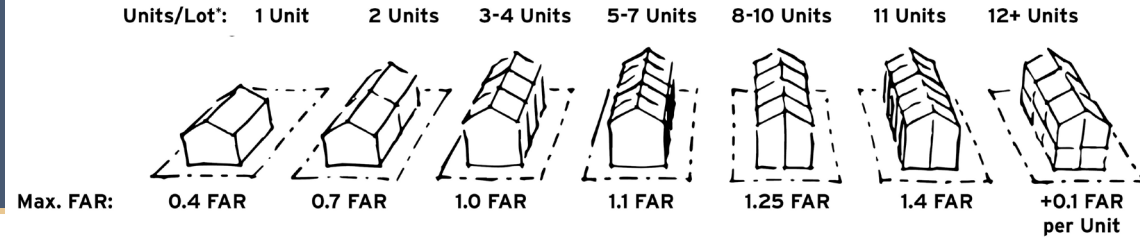


Developments with 2 or more primary units must provide open space as follows:

1. **Central City SPD:** according to current ratios in City Code (25 or 50 sf per unit)
2. **FAR 1:** 400 sqft. OR 125 sqft. per unit whichever is greater
3. **FAR 2:** 400 sqft. OR 75 sqft. per unit, whichever is greater
4. Allow overlap w/ setbacks if a *functional, shared open space* is provided and meets design criteria (**e.g. 15' by 15' minimum dimension**), including tree shading.

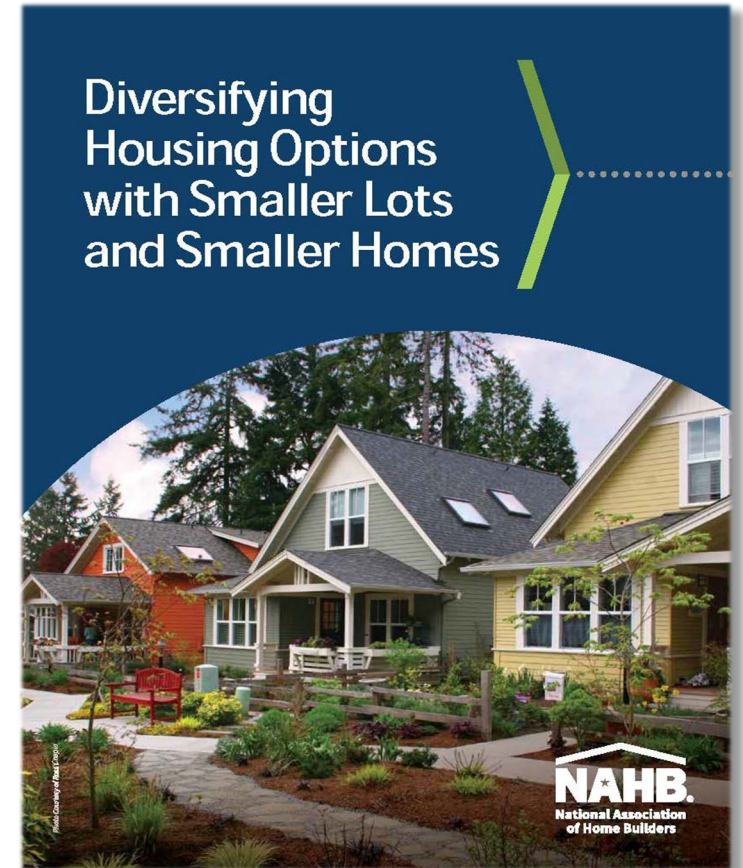
# 3. Attainability + Ownership

Figure LUP-5  
Sliding FAR Scale



\*Units per lot does not include ADUs.

- Smaller homes on smaller lots:
  - Reduce minimum lot size to 1,200 sq.ft. from 5,200
  - Reduce minimum lot width to 16', but on each side that abuts a detached single-unit dwelling, increase by 4'
- Protect vulnerable residents & preserve affordable housing:
  - Required Findings of Fact:
    - Cannot result in less units
    - Cannot demolish units occupied by tenant in past year
    - Cannot demolish regulated affordable units
- Sliding FAR Scale:
  - Incentivizes production of smaller, more attainable units





# Attainability for All?

- Allowing neighborhood-scale MMH along with the sliding FAR scale can produce lower-cost housing *attainable to middle-income households*.
- Acknowledging that median annual household incomes vary between racial groups.
- MMH is only one piece of the housing puzzle and *more work needs to be done*.

Head of Household Race	Black or African American	Native American, Native Hawaiian, Pacific Islander	Hispanic White (no other race)	Other, Two or more races	Asian	White
Median Annual Household Income*	\$57,400	\$72,200	\$72,500	\$71,800	\$90,100	\$89,400
SF Home Cost Burden	198%	157%	157%	158%	126%	127%
Duplex Cost Burden	61%	48%	48%	48%	39%	39%
Fourplex Cost Burden	46%	36%	36%	37%	29%	29%
ADU Cost Burden	40%	32%	32%	32%	26%	26%
% of Sacramento Households	13%	2%	7%	21%	17%	41%

\*Median Annual Household Income in 2022 inflation adjusted dollars (5-year ACS Census data)

**Economic Analysis Findings**

**Average Unit Price**

Base Case	Alternative
<b>\$602,378</b>	<b>\$420,148</b>

**Share of Housing Replacement in Low Vulnerability (Green) Areas**

Alternative  
**88%**

# Adoption Schedule

- Aug 20 - Law & Legislation Committee:  
Adoption Recommendation
- Sept 17 - City Council:  
Public Hearing to Adopt Interim Ordinance
- Oct 17, 2024:  
Proposed Effective Date of Interim Ordinance

Please sign up for email updates at [www.cityofsacramento.org/MMH](http://www.cityofsacramento.org/MMH)

# Next Steps

- Comprehensive update to Title 17 for GP consistency:
  - Anticipated completion by end of 2025
  - Will fold in MMH Interim Ordinance
- Potential Longer-Term Strategies
  - Local Bonus Program to incentivize deed-restricted MMH
  - Evaluate AB 1033 implementation
  - Update City's Condominium Conversion Ordinance
  - Expand City's Impact Fee Deferral Program to include projects with 3 and 4 units
  - Update driveway standards

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# Planning & Design Commission's Recommendation

- Passed a motion to forward to the City Council:
  - A recommendation to approve the resolution for environmental review and the interim ordinance, with a revision to the ordinance so that the bulk control standard in section 7.B would not apply to sites designated with a maximum FAR of 2 or greater by the 2040 General Plan.

# Staff Recommendation

- 1) Review a **Resolution** determining that the MMH Interim Ordinance is a subsequent project within the scope of the Master Environmental Impact Report for the 2040 General Plan;
- 2) Review the MMH **Interim Ordinance**;
- 3) Pass a **Motion** forwarding the Resolution and the MMH Interim Ordinance to City Council for consideration.



## Missing Middle Housing Interim Ordinance

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