

## DIRECTOR REPORT

### STAFF RECOMMENDATION

Staff recommend that the Zoning Administrator approve the proposed Conditional Use Permit Major Modification to a fueling station site and the Design Director approve the proposed Site Plan and Design Review to construct the fueling station site for the project known as **Z24-005**. Draft Findings of Fact for the project are included below.

### REQUESTED ENTITLEMENTS

1. **Conditional Use Permit – Major Modification** of a previously approved Conditional Use Permit (P20-036) for a fueling station and convenience store site on a vacant 1.96-acre property in the Light Industrial (M-1S) Zone. Modifications include the elimination of a carwash building, the addition of two commercial truck fueling positions, expansion of the convenience store from 4,150 square feet to 4,761 square feet, and implementation of 10 fast EV-charging stations.
2. **Site Plan and Design Review** to construct a fueling station, convenience store, and associated site improvements on a vacant 1.96-acre property in the Light Industrial (M-1S) Zone.

### PROJECT INFORMATION

Location: Northeast corner of South Watt Avenue and Elder Creek Road

Parcel Number: 062-0060-033-0000

Council District: 6 – Councilmember Eric Guerra

Applicant: 7-Eleven c/o Crystal Justice  
3200 Hackberry Road  
Irving, TX 75063

Property Owner: Tekin & Associates LLC c/o Alicia Baker  
2600 Dallas Parkway  
Frisco, TX 75034

Project Planner: Danny Abbes, Associate Planner, (916) 808-5873

Hearing Date: February 27, 2025

#### Land Use Information

General Plan Designation: Industrial Mixed Use

Zoning Designation: Light Industrial (M-1S) Zone

Community Plan Area: Fruitridge/Broadway

Design Review Area: Citywide

Parking District: Suburban

Existing Land Use of Site: Vacant

### Surrounding Zoning and Land Uses

North:	County	Landscaping Materials Yard
South:	County	Recycling Facility
East:	County	Truck and Trailer Storage and Repair
West:	M-2S	Warehouse

### Site Characteristics

Existing Property Area:	105,415 square feet / 2.42 acres
Topography:	Flat
Street Improvements:	Existing/Required
Utilities:	Existing

### Other Information

Previous Files:	P20-036
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## **ATTACHMENTS**

Attachment 1: Project Plans

Attachment 2: Sacramento Metropolitan Air Quality Management District comment letter

Attachment 3: Resolution 2023-0151 (P20-036 approval document)

## **BACKGROUND**

The project site is a vacant 1.96-acre parcel located at the northeast corner of South Watt Avenue and Elder Creek Road. Historical aerial imagery indicates that the site has been vacant since at least 2009 and was used as a truck storage yard between approximately 2001 and 2006. The site is surrounded by industrial uses.

On May 23rd of 2023, Sacramento City Council approved an annexation of the site and a Conditional Use Permit and Site Plan and Design Review entitlements for the development of a gas station (P20-036). The approval also included Conditional Use Permits for alcohol sales and tobacco retailing. There are no proposed modifications related to the alcohol sales or tobacco retailing permits.

The applicant is now requesting a Conditional Use Permit Major Modification and Site Plan and Design Review to eliminate a carwash building, add two commercial truck fueling positions, expand the convenience store by ±600 square feet, and implement 10 fast EV-charging stations. The request requires approval from the Zoning Administrator and Design Director.

## **PROPOSED PROJECT AND ANALYSIS**

### ***Major Modification to Conditional Use Permit (CUP) Entitlement***

A Zoning Administrator-approved Major Modification to a Conditional Use Permit is required under the following circumstances:

- Any material changes in the orientation or location of structures on the parcel;
- Any major change in the pattern or volume of traffic flow either on or off any property covered by the permit.

The proposed modification includes the removal of a carwash structure and increase in the number of fueling positions from six to eight, including two new separate fueling positions for trucks in addition to the six positions for standard automobiles. The Department of Public Works has reviewed, accepted, and conditioned the revised on-site vehicle circulation pattern that largely separates standard vehicles

and trucks. Other proposed modifications include an increase from two to ten fully installed electric vehicle fast-charging stations and an increased footprint of the corner convenience store from 4,150 square feet to 4,761 square feet.

### ***Site Plan and Design Review Entitlement***

The ±600 square foot expansion of the convenience store accommodates an increase in the size of the restrooms and number of stalls available to patrons. The store exterior design remains substantially similar to the previous approval (P20-036) with painted stucco walls, stacked stone accents at the building base, vertical trellis “green screen” planters, and a clear-glazed aluminum storefront system. The current proposal adds a metal awning across the storefront entrance.

The project was reviewed and conditioned by the Department of Public Works to ensure appropriate site access and on-site vehicle circulation. The project also meets city standards for parking lot dimensions, maneuverability, and tree shading. There are no proposed deviations to the M-1S Zone or other development code standards.

### ***2040 General Plan Consistency***

Staff finds the proposed modification to be consistent with the following 2040 General Plan goal and policy verbiage related to electric vehicle charging infrastructure access:

“Electric Vehicles: Achieving a better modal balance that involves a higher share of trips made by active and shared modes will take time and sustained efforts. Vehicle trips will continue to constitute a significant portion of the overall trips made in Sacramento so ensuring that as many of those trips as possible are zero-emission trips is essential for achieving long-term climate action and mobility objectives while also promoting healthier transportation options, particularly for residents of disadvantaged communities. This General Plan seeks to catalyze a shift to electric and zero-emission vehicles in both the near and long term by expanding access to vehicle charging infrastructure, shared electric vehicles, incentives, and information.” (Mobility Element Section 8-8)

Land Use Policy 4.13; Future-Ready Gas Stations. The City shall prohibit the establishment of new gas stations or the expansion of new fossil fuel infrastructure at existing gas stations unless the project proponent provides 50kW or greater Direct Current Fast Charger (DCFC) electric vehicle charging stations on site at a ratio of at least 1 new charging station per 1 new gas fuel nozzle.

### ***Staff Recommendation***

Staff recommend that the Zoning Administrator and Design Director approve the proposed project. Proposed project modifications will allow for 10 publicly-accessible electric vehicle fast-charging stations and increase the development feasibility of an urban infill service site that provides convenience to area workers and travelers seeking to fuel or charge their vehicles, purchase food, or use a restroom.

### **PUBLIC/NEIGHBORHOOD OUTREACH AND COMMENTS**

This project was routed to Preservation Sacramento, Civic Thread, Sacramento Area Bicycle Advocates, Region Builders, and the Sacramento Metropolitan Air Quality Management District. Staff received one comment from the Sacramento Metropolitan Air Quality Management District: “Sac Metro Air District commends the addition of the electric vehicle fast chargers, as exceeding California Green Building Standards voluntary measures for a more climate-supportive project.”

All property owners and residents within 500 feet of the subject site were mailed a notice with project information, Planning staff contact information, and participation details for this public hearing. The project site was also posted with this information. Staff have not received any additional comments.

## **ENVIRONMENTAL DETERMINATION:**

On May 23, 2023, the City Council adopted a mitigated negative declaration (MND), and a mitigation monitoring plan and approved the Elder Creek 7-Eleven Annexation Project (P20-036) that consisted of the development of a 7-Eleven convenience store, a fueling station with six pumps, a car wash, and other elements including lighting, hardscape, and landscaping. The project involved annexation of the project site into the City of Sacramento (City) and is already within the City's Sphere of Influence.

The 7-Eleven at NE corner of South Watt Avenue and Elder Creek Road Project (Current project) consists of a Conditional Use Permit Major Modification and Site Plan and Design Review to eliminate the carwash building, add two commercial truck fueling positions, expand the convenience store by ±600 square feet, and implement 10 fast EV-charging stations. The Environmental Planning Services Division has reviewed the current project for compliance with the requirements of the California Environmental Quality Act (CEQA).

The proposed project would not result in new significant environmental effects or a substantial increase in the severity of previously identified significant effects considered in the approved Mitigated Negative Declaration. Section 15162 of the CEQA Guidelines provides that additional environmental review need not be prepared unless subsequent changes are proposed in the project, substantial changes occur with respect to the project circumstances, or new information of substantial importance to the project becomes known or available. As none of the conditions listed above relating to Section 15162 exist; additional environmental review is not required.

## **FLOOD HAZARD ZONE**

State Law (SB 5) and Planning and Development Code chapter 17.810 require that the City must make specific findings prior to approving certain entitlements for projects within a flood hazard zone. The purpose is to ensure that new developments will have protection from a 200-year flood event or will achieve that protection by 2025. The project site is within a flood hazard zone and is an area covered by SAFCA's Improvements to the State Plan of Flood Control System, and specific findings related to the level of protection have been incorporated as part of this project. Even though the project site is within a flood hazard zone, the local flood management agency, SAFCA, has made adequate progress on the construction of a flood protection system that will ensure protection from a 200-year flood event or will achieve that protection by 2025. This is based on the SAFCA Urban level of flood protection plan, adequate progress baseline report, and adequate progress toward an urban level of flood protection engineer's report that were accepted by City Council Resolution No. 2016-0226 on June 21, 2016, and the SAFCA 2023 Adequate Progress Annual Report accepted by City Council Resolution No. 2023-0337 on October 24, 2023.

## **FINDINGS OF FACT**

### **A. Environmental Determination:**

On May 23, 2023, the City Council adopted a mitigated negative declaration (MND), and a mitigation monitoring plan, and approved the Elder Creek 7-Eleven Annexation Project (P20-036) that consisted of the development of a 7-Eleven convenience store, a fueling station with six pumps, a car wash, and other elements including lighting, hardscape, and landscaping. The project involves annexation of the project site into the City of Sacramento (City) and is already within the City's Sphere of Influence.

The 7-Eleven at NE corner of South Watt Avenue and Elder Creek Road (Current project) consists of a Conditional Use Permit Major Modification and Site Plan and Design Review to eliminate the carwash building, add two commercial truck fueling positions, expand the convenience store by ±600 square feet, and implement 10 fast EV-charging stations. The Current Project is consistent with the uses reviewed and evaluated in the adopted IS/MND and the analysis of impacts and mitigation in the IS/MND is adequate for the Current Project.

1. Staff finds as follows:

- a. On May 23, 2023, pursuant to the California Environmental Quality Act (Public Resources Code §21000 *et seq.* (“CEQA”), the CEQA Guidelines (14 California Code of Regulations §15000 *et seq.*), and the City of Sacramento environmental guidelines, the City Council adopted a Mitigated Negative Declaration and a Mitigation Monitoring Plan and approved the Elder Creek 7-Eleven Annexation Project (P20-036) project (Original Project);
- b. The 7-Eleven at NE corner of South Watt Avenue and Elder Creek Road Project (Z24-005) is requesting a Conditional Use Permit Major Modification and Site Plan and Design Review to eliminate the carwash building, add two commercial truck fueling positions, expand the convenience store by ±600 square feet, and implement 10 fast EV-charging stations.
- c. Based on its review and evaluation of the 7-Eleven at NE corner of South Watt Avenue and Elder Creek Road (Current Project) (Z24-005), staff determined that the proposed changes to the original Project did not require the preparation of a subsequent MND.

2. Staff has reviewed and considered the information contained in the previously adopted Mitigated Negative Declaration (MND) for the Original Project, and all oral and documentary evidence received during the hearing on the Current Project. The Planning and Design Commission has determined that the previously adopted MND constitutes an adequate, accurate, objective, and complete review of the proposed Current Project and finds that no additional environmental review is required based on the reasons set forth below:

- a. No substantial changes are proposed by the Current Project that will require major revisions of the previously adopted Mitigated Negative Declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects.
- b. No substantial changes have occurred with respect to the circumstances under which the Current Project will be undertaken which will require major revisions to the previously adopted MND due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects.
- c. No new information of substantial importance has been found that shows any of the following:
  - i. The Current Project will have one or more significant effects not discussed in the previously adopted MND.
  - ii. Significant effects previously examined will be substantially more severe than shown in the previously adopted MND.

- iii. Mitigation measures previously found to be infeasible would in fact be feasible and would substantially reduce one or more significant effects of the Current Project; or
- iv. Mitigation measures which are considerably different from those analyzed in the previously adopted MND would substantially reduce one or more significant effects on the environment.

- 3. The mitigation monitoring program for the Project remains in effect and applies to the Current Project. The mitigation monitoring program meets the requirements of CEQA section 21081.6 and CEQA Guidelines section 15091.
- 4. Upon approval of the Current Project, the City Manager shall file or cause to be filed a Notice of Determination in compliance with current State guidelines at the time and, if the project requires a discretionary approval from any state agency, with the State Office of Planning and Research, pursuant to section 21152(a) of the Public Resources Code and the State EIR Guidelines adopted pursuant thereto.
- 5. Pursuant to Guidelines section 15091(e), the documents and other materials that constitute the record of proceedings upon which staff has based its decision, including the previously adopted MND, are located in and may be obtained from, the Office of the City Clerk at 915 I Street, Sacramento, California. The City Clerk is the custodian of records for all matters before the City.

B. **Conditional Use Permit – Major Modification** to modify an existing Conditional Use Permit (CUP) for a fueling station and convenience store site on a vacant 1.96-acre property in the Light Industrial (M-1S) Zone **is approved** based on the following Findings of Fact:

- 1. The proposed use and its operating characteristics are consistent with the general plan designation of Industrial Mixed Use which allows for compatible quasi-public uses and services uses such as a fueling facility. There is no applicable specific plan or transit village plan.
- 2. The proposed use and its operating characteristics are consistent with the applicable standards, requirements, and regulations of the M-1S Zone, and of all other applicable provisions of the Planning and Development code.
- 3. The proposed use is situated on a parcel that is physically suitable in terms of location, size, topography, and access, and that is adequately served by public services and utilities. The site has been reviewed and conditioned by the Departments of Public Works and Utilities to ensure adequate access and services.
- 4. The proposed use and its operating characteristics are not detrimental to the public health, safety, convenience, or welfare of persons residing, working, visiting, or recreating in the surrounding neighborhood and will not result in the creation of a nuisance. The modification includes an expansion of the convenience store from 4,150 square feet to 4,761 square feet, and implementation of 10 fast EV-charging stations for convenient public use.

### **C. Site Plan and Design Review**

1. The design, layout, and physical characteristics of the proposed development modification are consistent with the 2040 General Plan which requires a 1 to 1 ratio of electric vehicle charging stations per 1 new gas fuel nozzle. There is no applicable specific plan or transit village plan.
2. The design, layout, and physical characteristics of proposed development modification are consistent with all applicable design guidelines and with all applicable development standards.
3. All streets and other public access ways and facilities, parking facilities, and utility infrastructure are adequate to serve the proposed development and comply with all applicable design guidelines and development standards. The project was reviewed and conditioned by the City Departments of Public Works and Utilities to ensure adequate access, functioning, and connection. The project also meets city standards for parking lot dimensions, maneuverability, and shading.
4. The design, layout, and physical characteristics of the proposed development modification are visually and functionally compatible with the surrounding neighborhood.
5. The design, layout, and physical characteristics of the proposed development ensure energy consumption is minimized and use of renewable energy sources is encouraged in that the project includes 10 fast electric-vehicle charging stations.
6. The design, layout, and physical characteristics of the proposed development modification are not detrimental to the public health, safety, convenience, or welfare of persons residing, working, visiting, or recreating in the surrounding neighborhood and will not result in the creation of a nuisance.

### **CONDITIONS OF APPROVAL**

#### **Conditional Use Permit – Major Modification:**

##### **Planning**

1. Any modifications to the project shall require additional planning review and may result in the need for additional planning entitlements.
2. This approval does not modify P20-036 conditions of approval related to alcohol sales and tobacco retailing conditional use permits.
3. Any graffiti painted or marked upon the premises or on any adjacent area under the control of the applicant shall be removed or painted over with matching paint within 72 hours of being applied.

##### **Public Works**

4. Construct standard public improvements as noted in these conditions pursuant to Title 17 of the

City Code. Improvements shall be designed to City of Sacramento and County of Sacramento Standards and assured as set forth in Section 17.502.020 of the City Code. All improvements shall be designed and constructed to the satisfaction of the Department of Public Works. Any public improvements not specifically noted in these conditions shall be designed and constructed to City Standards.

5. Dedicate sufficient right of way and Construct South Watt Avenue consistent with County of Sacramento 6-lane arterial roadway standards. The construction of South Watt Avenue shall be from the Centerline of the road to the east including a standard bus turn-out and full frontage improvements to the satisfaction of the City of Sacramento and County of Sacramento.
6. The applicant shall coordinate with the County of Sacramento and extend the existing curb median along South Watt Avenue further to the north (50-feet past the proposed driveway) to prevent left in and out vehicular movements from the proposed driveway along South Watt Avenue to the satisfaction of the City of Sacramento and County of Sacramento.
7. Dedicate right of way and construct a standard bus turn out with a concrete bus shelter pad per Standard Drawing 4-43 (top drawing) and 4-44 in the 2018 Sacramento County Improvement Standards along South Watt Avenue consistent with the County of Sacramento standards and to the satisfaction of the City of Sacramento and County of Sacramento.
8. Dedicate sufficient right of way along Elder Creek Road in the form of an Irrevocable Offer of Dedication (I.O.D.) to the satisfaction of the County of Sacramento. The required I.O.D. for Elder Creek Road shall be based on Sacramento County standards and shall include two westbound left turn lanes, three through lanes, a 5-foot bicycle lane and a single right turn lane. The applicant shall also dedicate a 20-foot wide Public Utilities and Public Facilities Easement (PUPFE) adjacent to the ultimate right of way along Elder Creek Road to the satisfaction of the County of Sacramento. The applicant shall coordinate with the City of Sacramento on any proposed improvements to be constructed within the PUPFE Easement area that includes any landscaping or tree plantings.
9. The applicant shall construct interim improvements along Elder Creek Road with full frontage improvements (curb, gutter, planter, and sidewalk, streetlights) to the satisfaction of the City and County of Sacramento. The new sidewalk construction shall be constructed in the ultimate location and shall have an appropriate transition to the intersection corner to the satisfaction of the City and County of Sacramento.
10. No driveway permit shall be issued for the proposed driveway along Elder Creek Road until the applicant provides complete improvement plans and a roadway design that provides for:
  - a. A 2-foot wide (minimum) median/curb to prevent left in/out movement at the driveway.
  - b. A minimum of 18-feet of pavement width for the eastbound lane on Elder Creek Road and an appropriate shoulder.
  - c. Appropriate lane transitions per MUTCD for westbound approaches and eastbound approaches.
  - d. All required signage and roadway pavement markings.
  - e. The final design shall be to the satisfaction of the City and County of Sacramento.



11. Dedicate sufficient right of way and construct the west side of Turner Road per the City's Local Industrial Street standard (DPM plate No.15-4) to the satisfaction of the Department of Public Works.
12. To accommodate the proposed vehicular access and driveway along South Watt Avenue, the applicant shall contact and negotiate with the County of Sacramento to obtain access rights along this parcel's frontage on South Watt Avenue and to relinquish the access restriction in place to the satisfaction of the County of Sacramento.
13. As a result of all roadway construction, the applicant shall relocate any existing utilities which conflict with the required improvements (i.e. power poles, signal mast arms, signal equipment, electrical cabinets, manholes, etc). consistent with County of Sacramento standards to the satisfaction of the City of Sacramento and County of Sacramento.
14. This project will require the installation of streetlights on all public streets fronting this property to the satisfaction of the City of Sacramento and County of Sacramento. The number and locations of these lights will be determined when development plans are submitted for review.
15. All right-of-way and street improvement transitions that result from changing the right-of-way of any street shall be located, designed and constructed to the satisfaction of the City of Sacramento and County of Sacramento.
16. The applicant shall provide a signing and striping improvement plan if new signage or striping is proposed; or if existing signing and/or striping is removed or relocated. The plans shall be to the satisfaction of the City of Sacramento and County of Sacramento.
17. All new driveways shall be designed and constructed to City Standards to the satisfaction of the Department of Public Works. To accommodate large trucks anticipated to access this site, 45-foot-wide driveways have been allowed.
18. Comply with requirements included in the Mitigation Monitoring Plan developed by, and kept on file in, the Planning Division Office (Z24-005).
19. Comply with recommendations of the "Truck Queuing Study Technical Memorandum" prepared by Fehr and Peers and dated October 17, 2024 that include on-site striping and signage and way finding signs along Elder Creek Road to the satisfaction of the City of Sacramento and County of Sacramento.
20. The site plan shall conform to A.D.A. requirements in all respects. This shall include the replacement of any curb ramp that does not meet current A.D.A. standards at the following locations:
  - a. At the north-east corner of South Watt Avenue and Elder Creek Road intersection.
  - b. At the north-east and north-west corner of Turner Road and Elder Creek Road intersection
21. The site plan shall conform to the parking requirements set forth in City Code 17.608.040.
22. The design of walls, fences and signage near intersections and driveways shall allow stopping sight distance per Caltrans standards and comply with City Code Section 12.28.010 (25' sight triangle). Landscaping in the area required for adequate stopping sight distance shall be limited to

3.5' in height at maturity. The area of exclusion shall be determined by the Department of Public Works.

### **Public Works – Electrical Division**

23. This project will require the installation of streetlights on all public streets to the satisfaction of Public Works. This will require the electrical design plans to be prepared and stamped by a registered civil or electrical engineer submitted with the major encroachment permit application. The Developer will determine the quantity and locations of streetlights based upon the City Lighting Standards. In general, the City Lighting Standard for illumination is the following: 0.20 footcandles minimum for non-residential. The illumination levels for crosswalks and signalized intersections shall meet the American National Standard Institute (ANSI)/Illuminating Engineering Society (IES) RP-8 guidelines. A photometric analysis is required for the first Cycle submission.

### **Fire Department**

24. Obtain any required operational permits from the Sacramento City Fire Prevention Division. Contact # 916-808-1300.

### **Site Plan and Design Review:**

#### **Planning**

1. Provide the following building materials on the commercial building as indicated per the approved plans.
  - a. Painted stucco walls;
  - b. Stacked stone accents at the building base;
  - c. Vertical trellis “green screen” planters;
  - d. Clear-glazed aluminum storefront system;
  - e. Metal awning across the storefront entrance.
2. Support columns for the fuel canopies shall be clad with a stacked stone veneer base to match the stone veneer base material of the convenience store.
3. All newly installed ground-mounted and roof-mounted mechanical equipment must be completely concealed from all adjacent and approaching right-of-way views. Construction documents shall clearly illustrate compliance. Placement of all exterior mechanical equipment, along with any necessary screening and details, must be shown on site plans, roof plans, and exterior elevations. Permanently supported solid, slatted, or louvered metal panel material only may be used. Openings in slatted material shall be less than 10%. Louvered material shall be positioned so spacing does not align with line of sight views. All material shall be painted to match elements of building exterior finish.
4. All newly installed exterior wall-mounted and ground-mounted electrical service equipment, excluding transformers, must be completely concealed from all adjacent and approaching right-of-way views. Construction documents shall clearly illustrate compliance. Placement of all exterior electrical equipment, along with any necessary screening and details, must be shown on site plans, floor plans, and exterior elevations, while maintaining all service clearance requirements. Permanently supported solid, slatted, or louvered metal panel material only may be used. Openings in slatted material shall be less than 10%. All material shall be painted to match

elements of building exterior finish.

5. A photometric plan shall be provided for all outdoor lighting in and around the site at the time of plan check. Any new building mounted lighting shall be subject to final review and approval by Planning staff.
6. Signs were not reviewed as part of the review and approval of the proposed project. All signs shall require review and approval by Design Review and shall conform to the sign ordinance and require sign permit issuance.
7. Planning In-progress inspections (93) shall be called for prior to the following Building Inspections: 10 Bldg-Foundation Forms, 12 Bldg-Concrete Slab Forms, and 19 Bldg-Frame. An 89 Planning Final shall be called for prior to 29 Building Final. Please coordinate with your assigned Planning Inspection Team reviewer.

### **Public Works**

8. Construct standard public improvements as noted in these conditions pursuant to Title 17 of the City Code. Improvements shall be designed to City of Sacramento and County of Sacramento Standards and assured as set forth in Section 17.502.020 of the City Code. All improvements shall be designed and constructed to the satisfaction of the Department of Public Works. Any public improvements not specifically noted in these conditions shall be designed and constructed to City Standards.
9. Dedicate sufficient right of way and Construct South Watt Avenue consistent with County of Sacramento 6-lane arterial roadway standards. The construction of South Watt Avenue shall be from the Centerline of the road to the east including a standard bus turn-out and full frontage improvements to the satisfaction of the City of Sacramento and County of Sacramento.
10. The applicant shall coordinate with the County of Sacramento and extend the existing curb median along South Watt Avenue further to the north (50-feet past the proposed driveway) to prevent left in and out vehicular movements from the proposed driveway along South Watt Avenue to the satisfaction of the City of Sacramento and County of Sacramento.
11. Dedicate right of way and construct a standard bus turn out with a concrete bus shelter pad per Standard Drawing 4-43 (top drawing) and 4-44 in the 2018 Sacramento County Improvement Standards along South Watt Avenue consistent with the County of Sacramento standards and to the satisfaction of the City of Sacramento and County of Sacramento.
12. Dedicate sufficient right of way along Elder Creek Road in the form of an Irrevocable Offer of Dedication (I.O.D.) to the satisfaction of the County of Sacramento. The required I.O.D. for Elder Creek Road shall be based on Sacramento County standards and shall include two westbound left turn lanes, three through lanes, a 5-foot bicycle lane and a single right turn lane. The applicant shall also dedicate a 20-foot wide Public Utilities and Public Facilities Easement (PUPFE) adjacent to the ultimate right of way along Elder Creek Road to the satisfaction of the County of Sacramento. The applicant shall coordinate with the City of Sacramento on any proposed improvements to be constructed within the PUPFE Easement area that includes any landscaping or tree plantings.
13. The applicant shall construct interim improvements along Elder Creek Road with full frontage

improvements (curb, gutter, planter, and sidewalk, streetlights) to the satisfaction of the City and County of Sacramento. The new sidewalk construction shall be constructed in the ultimate location and shall have an appropriate transition to the intersection corner to the satisfaction of the City and County of Sacramento.

14. No driveway permit shall be issued for the proposed driveway along Elder Creek Road until the applicant provides complete improvement plans and a roadway design that provides for:
  - a. A 2-foot wide (minimum) median/curb to prevent left in/out movement at the driveway.
  - b. A minimum of 18-feet of pavement width for the eastbound lane on Elder Creek Road and an appropriate shoulder.
  - c. Appropriate lane transitions per MUTCD for westbound approaches and eastbound approaches.
  - d. All required signage and roadway pavement markings.
  - e. The final design shall be to the satisfaction of the City and County of Sacramento.
15. Dedicate sufficient right of way and construct the west side of Turner Road per the City's Local Industrial Street standard (DPM plate No.15-4) to the satisfaction of the Department of Public Works.
16. To accommodate the proposed vehicular access and driveway along South Watt Avenue, the applicant shall contact and negotiate with the County of Sacramento to obtain access rights along this parcel's frontage on South Watt Avenue and to relinquish the access restriction in place to the satisfaction of the County of Sacramento.
17. As a result of all roadway construction, the applicant shall relocate any existing utilities which conflict with the required improvements (i.e. power poles, signal mast arms, signal equipment, electrical cabinets, manholes, etc). consistent with County of Sacramento standards to the satisfaction of the City of Sacramento and County of Sacramento.
18. This project will require the installation of streetlights on all public streets fronting this property to the satisfaction of the City of Sacramento and County of Sacramento. The number and locations of these lights will be determined when development plans are submitted for review.
19. All right-of-way and street improvement transitions that result from changing the right-of-way of any street shall be located, designed and constructed to the satisfaction of the City of Sacramento and County of Sacramento.
20. The applicant shall provide a signing and striping improvement plan if new signage or striping is proposed; or if existing signing and/or striping is removed or relocated. The plans shall be to the satisfaction of the City of Sacramento and County of Sacramento.
21. All new driveways shall be designed and constructed to City Standards to the satisfaction of the Department of Public Works. To accommodate large trucks anticipated to access this site, 45-foot-wide driveways have been allowed.
22. Comply with requirements included in the Mitigation Monitoring Plan developed by, and kept on

file in, the Planning Division Office (Z24-005).

23. Comply with recommendations of the "Truck Queuing Study Technical Memorandum" prepared by Fehr and Peers and dated October 17, 2024 that include on-site striping and signage and way finding signs along Elder Creek Road to the satisfaction of the City of Sacramento and County of Sacramento.
24. The site plan shall conform to A.D.A. requirements in all respects. This shall include the replacement of any curb ramp that does not meet current A.D.A. standards at the following locations:
  - a. At the north-east corner of South Watt Avenue and Elder Creek Road intersection.
  - b. At the north-east and north-west corner of Turner Road and Elder Creek Road intersection
25. The site plan shall conform to the parking requirements set forth in City Code 17.608.040.
26. The design of walls, fences and signage near intersections and driveways shall allow stopping sight distance per Caltrans standards and comply with City Code Section 12.28.010 (25' sight triangle). Landscaping in the area required for adequate stopping sight distance shall be limited to 3.5' in height at maturity. The area of exclusion shall be determined by the Department of Public Works.

#### **Public Works – Electrical Division**

27. This project will require the installation of streetlights on all public streets to the satisfaction of Public Works. This will require the electrical design plans to be prepared and stamped by a registered civil or electrical engineer submitted with the major encroachment permit application. The Developer will determine the quantity and locations of streetlights based upon the City Lighting Standards. In general, the City Lighting Standard for illumination is the following: 0.20 footcandles minimum for non-residential. The illumination levels for crosswalks and signalized intersections shall meet the American National Standard Institute (ANSI)/Illuminating Engineering Society (IES) RP-8 guidelines. A photometric analysis is required for the first Cycle submission.

#### **Fire Department**

28. Timing and Installation. When fire protection, including fire apparatus access roads and water supplies for fire protection, is required to be installed, such protection shall be installed and made serviceable prior to and during the time of construction. CFC 501.4
29. Provide a water flow test. (Make arrangements at the Permit Center walk-in counter: 300 Richards Blvd, Sacramento, CA 95814). CFC 507.4
30. Provide appropriate Knox access for site. CFC Section 506
31. Locate and identify Fire Department Connections (FDCs) on address side of building no farther than 50 feet and no closer than 15 feet from a fire hydrant and not more than 30 feet from a paved roadway.

## Department of Utilities (DOU)

32. Per City Code Section, 13.04.070, multiple water service to a single lot or parcel may be allowed if approved by DOU Development Review and Operations and Maintenance staff. Any new water services (other than fire) shall be metered. Excess services shall be abandoned to the satisfaction of the DOU. (Note: Water taps across street medians are not allowed, unless otherwise approved by the DOU.)
33. Concurrent with the submittal of improvement plans, prepare a project specific water study for review and approval by the DOU. The water distribution system shall be designed to satisfy the more critical of the two following conditions: (1) at maximum day peak hour demand, the operating or "residual" pressure at all water service connections shall be at least 30 pounds per square inch, (2) at average maximum day demand plus fire flow, the operating or "residual" pressure in the area of the fire shall not be less than 20 pounds per square inch. The water study shall determine if the existing and proposed water distribution system is adequate to supply fire flow demands for the project. A water supply test may be required for this project. The applicant is advised to contact the City of Sacramento Utilities Department Development Review Section (916-808-7890) at the early planning stages to address any water related requirements. Failure to submit the water study may delay review and approval.
34. The proposed development is not contiguous to an existing public water main. The property owner/developer shall construct off-site water main extensions as determined by the DOU. (Note: Construct a water main extension and appurtenances in South Watt Avenue on the east side of the street median. Taps to the existing 12" City water main located in the west side of the street median are not allowed, unless otherwise approved by the DOU. The construction of the new water main shall be to the satisfaction of the DOU.)
35. Two points of service for the public water distribution system for this development are required. All water lines shall be placed within the asphalt section of public right-of-ways as per the City's Design and Procedures Manual.
36. Common area landscaping greater than 5,000 square feet shall have a separate street tap for a metered irrigation service.
37. The applicant shall prepare a project specific drainage study meeting the criteria specified in the current Onsite Design Manual for review and approval by the DOU. This project site has two drainage shed. A portion of this site drains to the City and the other portion drains to the County. Connections to the existing drainage system shall be consistent with the existing drainage shed areas or otherwise approved by the DOU. Modification to the drainage shed may require coordination between the County and City. The required detention volume can be partially or fully mitigated by implementing Low Impact Development (LID) features such as Stormwater planters and porous pavement, provided these features conform to the DOU's Hydromodification Management Plan (HMP) requirements. Designer shall utilize the latest edition of the Sacramento Area Hydrology Model (SAHM) when using LID features. The applicant is advised to contact the City of Sacramento Utilities Department Development Review Section (916-808-7890) at the early planning stages to address any drainage related requirements. Failure to submit the drainage study may delay review and approval. (Note: A maintenance agreement may be required for detention and Low Impact Development (LID) features.)
38. This project is in Drainage Basin G260 which is subject to the new Drainage Gravity Impact Fee

per City Council Resolution 2023-0368.

39. The onsite water and storm drain systems shall be private systems maintained by the owner or other approved entity.
40. Finished floor elevations shall be a minimum of 6-inches above the 100-year HGL or 1-foot above the overland flow release elevation, whichever is higher or as approved by the DOU.
41. Per City Code, the applicant may not develop the project in any way that obstructs, impedes, or interferes with the natural flow of existing off-site drainage that crosses the property. The project shall construct the required public and/or private infrastructure to handle off-site runoff to the satisfaction of the DOU. If private infrastructure is constructed to handle off-site runoff, the applicant shall dedicate the required private easements, and/or, at the discretion of the DOU, the applicant shall enter into and record an Agreement for Maintenance of Drainage with the City, in a form acceptable to the City Attorney.
42. No more than 6,000 square feet is allowed to sheet drain over a public sidewalk. If the area is larger than 6,000 square feet, then an on-site surface drainage system is required and shall be connected to the street drainage system by means of a storm drain service tap. All on-site systems shall be designed to the standard specified in the DOU onsite manual.
43. A grading plan showing existing and proposed elevations is required. Adjacent off-site topography shall also be shown to the extent necessary to determine impacts to existing surface drainage paths. No grading shall occur until the grading plan has been reviewed and approved by the DOU.
44. This project will disturb more than one acre of land; therefore, the project is required to comply with the State's "Construction General Permit". To comply with the State Permit, the applicant must file a Notice of Intent (NOI) through the State's Storm Water Multiple Application and Report Tracking System (SMARTS). A valid WDID number must be obtained and provided to the DOU prior to the issuance of any grading permits.
45. The applicant must comply with the City of Sacramento's Grading, Erosion and Sediment Control Ordinance. This ordinance requires the applicant to show erosion and sediment control methods on the construction drawings. These plans shall also show the methods to control urban runoff pollution from the project site during construction.
46. Post construction (permanent), stormwater quality control measures shall be incorporated into the development to minimize the increase of urban runoff pollution caused by development of the area. The project is an area not served by an existing regional water quality control facility and/or the project has more than one-acre of new or modified impervious area, therefore, Low Impact Development (LID), Hydromodification Management Plan (HMP), certified full capture trash control devices and on-site treatment control measures will be required. The on-site storm water treatment control measures required may affect site design and site configuration and should be considered during early planning stages.
47. A separate maintenance agreement may be required for both on-site treatment control measures and full capture control devices. Contact DOU for a list of accepted proprietary devices considered for treatment control and full capture trash control. Construction drawings must include all proposed source controls and on-site water quality measures selected for the site. Refer to the latest edition of the "Stormwater Quality Design Manual for the Sacramento Region" for

appropriate measures.

## **SMUD**

48. SMUD has existing overhead 12/69kV facilities along Elder Creek Road that will need to remain. The Applicant shall be responsible for maintaining all CalOSHA and State of California Public Utilities Commission General Order No. 95 safety clearances during construction and upon building completion. If the required clearances cannot be maintained, the Applicant shall be responsible for the cost of relocation.
49. SMUD has existing underground 12kV facilities along Elder Creek Road, Turner Road, and on the project parcel that will need to remain. The Applicant shall be responsible for maintaining all CalOSHA and State of California Public Utilities Commission General Order No. 128 safety clearances during construction and upon building completion. If the required clearances cannot be maintained, the Applicant shall be responsible for the cost of relocation.
50. Any necessary future SMUD facilities located on the Applicant's property shall require a dedicated SMUD easement. This will be determined prior to SMUD performing work on the Applicant's property.
51. In the event the Applicant requires the relocation or removal of existing SMUD facilities on or adjacent to the subject property, the Applicant shall coordinate with SMUD. The Applicant shall be responsible for the cost of relocation or removal.
52. SMUD reserves the right to use any portion of its easements on or adjacent to the subject property that it reasonably needs and shall not be responsible for any damages to the developed property within said easement that unreasonably interferes with those needs.
53. The Applicant shall not place any building foundations within 5-feet of any SMUD trench to maintain adequate trench integrity. The Applicant shall verify specific clearance requirements for other utilities (e.g., Gas, Telephone, etc.).
54. In the event the City requires an Irrevocable Offer of Dedication (IOD) for future roadway improvements, the Applicant shall dedicate a 12.5-foot public utility easement (PUE) for overhead and/or underground facilities and appurtenances adjacent to the City's IOD.
55. The Applicant shall comply with SMUD siting requirements (e.g., panel size/location, clearances from SMUD equipment, transformer location, service conductors). Information regarding SMUD siting requirements can be found at: <https://www.smud.org/en/Business-Solutions-and-Rebates/Design-and-Construction-Services>.

## **Police Department**

### *Lighting:*

56. Exterior lighting shall be white light using LED lamps with full cutoff fixtures to limit glare and light trespass. Color temperature shall be between 2700K and 4100K with a color rendering index of 80 or higher and a light loss factor of .95 or better. When choosing lamps, the applicant shall look for efficiency of 110 lumens per watt or better. All existing exterior fixtures shall be replaced with fixtures that meet this requirement.



57. Light poles, if applicable, shall be no higher than 20'.
58. Broken or damaged exterior lighting shall be repaired or replaced within 48 hours of being noted.
59. Entry drives, drive aisles, parking and bicycle parking shall be illuminated to a maintained minimum of 1.5-foot candles per square foot of parking area at a 6:1 average to minimum ratio.
60. Exterior walkways, alcoves and passageways shall be illuminated to a maintained minimum of 1/3 foot candles per square foot of surface area at a 6:1 average to minimum ratio.
61. Exterior lighting distribution and fixtures shall be approved by the Sacramento Police Department CPTED Sergeant (or designee) prior to issuance of a building permit.
62. Exterior lighting shall be designed in coordination with the landscaping plan to minimize interference between the light standards and required illumination and the landscape trees and required shading.
63. Exterior lighting shall be shielded or otherwise designed to avoid spill-over illumination to adjacent streets and properties.

*Landscaping:*

64. All mature landscaping shall follow the two-foot, six-foot rule. All landscaping shall be ground cover, two feet or less and lower tree canopies of mature trees shall be above six feet. This increases natural surveillance, eliminates hiding areas within the landscape, and provides for tenants and users a safer environment.
65. Tree canopies shall not interfere with or block lighting. This creates shadows and areas of concealment. The landscaping plan shall allow for proper illumination and visibility regarding lighting and surveillance cameras through the maturity of trees and shrubs.

*Security:*

66. Fencing, if applicable, shall be of decorative tubular steel, no climb type and a minimum of 6' in height.
67. Business shall be equipped with and maintain a security system with:
  - An alarm system with a valid UL Certificate in accordance with ANSI/UL Standard 681-2014 (Standard for Installation and Classification of Burglar and Holdup Alarm), **Extent Number 4**
  - a Video Assessment and Surveillance System (VASS)
68. Holdup alarm system shall be employed near the:
  - all points of sale
  - safe(s)
69. A Video Assessment and Surveillance System (VASS) shall be installed at the site and maintained by a property management company, security company, or designee.

70. Manager with access to VASS storage shall be able to respond to any activation within two hours.
71. Cameras shall be day/night capable with a resolution of no less than two (2) megapixels and a minimum frame rate of 15 frames per second.
72. Each driveway entrance and each building entrance shall be covered by a camera set at 100 pixels per foot or higher.
73. VASS shall be capable of exporting footage to common media in a standard viewing format and shall not require proprietary software for third party viewing.
74. VASS shall be placed in drive-thru areas so as to capture driver faces and vehicle license plates.
75. VASS shall be capable of storing no less than 30 days' worth of activity.
76. VASS shall provide comprehensive coverage of:
- all points of sale
  - safe(s)
  - manager's office
  - areas of ingress and egress (doors, driveways)
  - alcohol placement areas
  - parking lot
  - gas pumps
  - adjacent public rights of way
  - trash enclosure(s)
  - areas not clearly visible from public streets
  - coverage of all four (4) exterior sides of the building(s) t
  - at least one camera shall be positioned to get a front face shot at the main entrance
77. Height markers are required on the interior doorway.
78. Electronic "point of sale" age verification system is required, including:
- scans and authenticates ID
  - identifies fake IDs
  - records dates and times of entry
  - has the ability to create a "banned patron" list
79. No more than 10 percent of the square footage of windows and clear doors for retail purposes shall be blocked by advertising, signs, shelves or anything else. All advertising, signs, and shelving shall be placed and maintained in a manner that ensures that law enforcement personnel have a clear and unobstructed view of the interior of the premises from the exterior public sidewalk or entrance to the premises. All signs shall comply with the City Code.
80. All dumpsters shall be kept locked or in locked enclosures. Gating for dumpster enclosures should be slatted to allow visual surveillance of the interior.
81. Exterior trash receptacles shall be of a design to prevent unauthorized removal of articles from the trash bin.

82. Sales registers should be designed so as to allow employees visual surveillance of the main store entrance.
83. Any graffiti painted or marked upon the premises or on any adjacent area under the control of the applicant shall be removed or painted over with matching paint within 72 hours of being applied.
84. Exterior benches shall be constructed so as to deter skateboarding (e.g., center armrest partitions).
85. Property management shall be responsible for the daily removal of all litter from the site.
86. Applicant shall install a law enforcement "Knox Box" for police access to the premises after hours.
87. Bollards rated at K4 or higher should be installed along the north side of the building to protect pedestrians and prevent vehicle intrusion.

*During Construction:*

88. The applicant shall enclose the entire perimeter of the project with a chain link fence with necessary construction gates to be locked after normal construction hours.
89. The location shall be monitored by security after normal construction hours during all phases of construction. This can be done via remote camera monitoring.
90. Adequate security lighting shall be provided to illuminate vulnerable equipment and materials. Lighting shall be white light with full cut off fixtures.

**Solid Waste and Recycling**

91. Project must meet the requirements outlined in City Code Chapter 13.24 and 17.616.
92. The trash enclosure shall have sufficient space to store bins for trash, recycling, and organics. Containers may be used with an increase in collection frequency as an alternative to bins. Minimum service levels for recycling and organics can be found in City Code Chapter for 13.24.600.
93. Applicant must provide a statement of how trash, recycling and organics will be organized and collected after project is complete, per City Code Chapter 17.616.020. This statement must explain how the property manager will collect from the trash, recycling and organics receptacles located around the site and place each material type in the appropriate bin in the trash enclosure.
94. Solid waste trucks must be able to safely move about the project, with minimum backing, and able to empty the containers safely.
95. This project may be required to submit a Construction and Demolition (C&D) Debris plan, as outlined on the City's web site at <http://www.cityofsacramento.org/public-works/RSW/Collection-Services/Recycling/Construction-and-Demolition>. Please contact the Solid Waste C&D team if you have any questions. Phone: (916) 808-0965; E-mail: [C&D@cityofsacramento.org](mailto:C&D@cityofsacramento.org)

**Advisory Notes:**

96. The proposed development is located within Sacramento Area Sewer District (SASD). Satisfy all SASD requirements. (DOU)
97. Water meters shall be located at the point of service, which is back of curb for separated sidewalks or back of walk for connected sidewalks. (DOU)
98. Manifold water services are not allowed. Separate service taps to the public water main system are required. (DOU)
99. Private drainage taps cannot tap into public drain inlets. (DOU)
100. The added truck fueling positions are permitted sources requiring an Authority to Construct and Permit to Operate from Sac Metro Air District, and the installation of a California Air Resources Board certified vapor recovery system is required. Sac Metro Air District will conduct a health risk assessment for the fueling station which may limit the throughput to meet allowable health risk levels. For permitting application instructions and forms visit: <https://www.airquality.org/Businesses/Permits-Registration-Programs>. If you have any questions permitting, please contact Steve Mosunic, Program Supervisor with Sac Metro Air District's Permitting Section, at 279-207-1137 or [smosunic@airquality.org](mailto:smosunic@airquality.org).
101. The proposed project is located in a Zone X on the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Maps (FIRMs). Accordingly, the project site lies in an area with no requirements to elevate or flood proof. (DOU)
102. On October 24, 2023, and November 14, 2023, City Council adopted Resolutions 2023-0338 and 2023-0368, respectively, to adjust the Water System, Sewer, and Combined Sewer Development Fees, as well as establish the Storm Drainage Development Fee to align with updated Nexus Studies. These resolutions provide for an effective date for the new Utility Development Fees as of January 22, 2024. (DOU)
103. City of Sacramento permits must be obtained for private patrol, alarms, and camera systems. (Police Department)
104. As per City Code, the applicant will be responsible to meet his/her obligations regarding:
  - a. Title 18, 18.56 Park Development Impact Fee, due at the time of issuance of building permit. The Park Development Impact Fee is estimated at \$2,666. The Park Development Impact Fee due for this project is based on the Remainder of City Rate of \$0.56 per square foot for retail and commercial projects. Any change in these factors will change the amount of the PIF due. The fee is calculated using factors at the time that the project is submitted for building permit. (Youth, Parks, and Community Enrichment)

*Danny Abbess*

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Danny Abbess  
Associate Planner

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Marcus Adams  
Senior Planner

The decision of the Zoning Administrator and Design Director may be appealed to the Planning and Design Commission. An appeal must be filed within 10 days of the Zoning Administrator's hearing. If an appeal is not filed, the action of the Zoning Administrator and Design Director is final.

**TYPICAL ABBREVIATIONS**

AB - AGGREGATE BASE	JB - JUNCTION BOX
AC - ASPHALT CONCRETE, ACRE	LF - LINEAR FEET
AD - AREA DRAIN	LP - LOW POINT
AHJ - AUTHORITY HAVING JURISDICTION	LSCP - LANDSCAPE
APN - ASSESSOR'S PARCEL NUMBER	LT - LEFT
ARCH - ARCHITECTURAL	MAX - MAXIMUM
ASPH - ASPHALT CONCRETE	ME - MATCH EXISTING ELEVATION
AWWA - AMERICAN WATER WORKS ASSOCIATION	MEP - MECHANICAL / ELECTRICAL / PLUMBING
BC - BEGIN CURVE	MH - MANHOLE
BFP - BACKFLOW PREVENTER	MIN - MINIMUM
BM - BENCHMARK	MRKG - MARKING
BMP - BEST MANAGEMENT PRACTICE	MUTCD - MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES
BLDG - BUILDING	N - NORTH
BS - BOTTOM OF STAIR	NO. - NUMBER
BVC - BEGIN VERTICAL CURVE	NTS - NOT TO SCALE
BW - BACK OF WALK	OC - ON CENTER
BW - BOTTOM OF WALL FINISHED GRADE	OCEW - ON CENTER EACH WAY OFFSET
CAL- CALIFORNIA GREEN BUILDING STANDARDS CODE	PC - POINT OF CURVATURE
CASQA - CALIFORNIA STORMWATER QUALITY ASSOCIATION	PCC - PORTLAND CEMENT CONCRETE, POINT OF COMPOUND CURVAURE, POINT OF INFLECTION
CB - CATCH BASIN	PI - POINT OF INFLECTION
CBC - CALIFORNIA BUILDING CODE	PIV - POST INDICATOR VALVE
CFC - CALIFORNIA FIRE CODE	P/L - PROPERTY LINE
CFS - CUBIC FEET PER SECOND	POC - POINT OF CONNECTION
CITY - CITY OF SACRAMENTO	PRC - POINT OF REVERSE CURVATURE
CFL - CENTERLINE	PRKG - PARKING
CO - CLEANOUT	PROP - PROPOSED
COMM - COMMUNICATION	PSI - POUNDS PER SQUARE INCH
CONC - CONCRETE	PT - POINT OF TANGENCY
CPC - CALIFORNIA PLUMBING CODE	PUE - PUBLIC UTILITY EASEMENT
CY - CUBIC YARD	PVC - POLYVINYL CHLORIDE
DI - DRAIN INLET	PVI - POINT OF VERTICAL INFLECTION
DIP - DUCTILE IRON PIPE	PVMT - PAVEMENT
DMA - DRAINAGE MANAGEMENT AREA	R - RIDGE, RADIUS
DS - DOWNSPOUT	REF - REFER TO
DTL - DETAIL	RCP - REINFORCED CONCRETE PIPE
DW - DOMESTIC WATER	RT - RIGHT
DWG - DRAWING	RW - RECLAIMED WATER
E - EAST	R/W - RIGHT-OF-WAY
EA - EACH	S - SEWER, SOUTH
EC - END OF CURVE	SD - STORM DRAIN
EG - EXISTING GRADE	SF - SQUARE FEET
ELEC - ELECTRIC	SPPWC - "GREENBOOK" STANDARD PLANS FOR PUBLIC WORKS CONSTRUCTION
ELEV - ELEVATION	SS - CONSTRUCTION
ESMT - EASEMENT	SSWC - SANITARY SEWER
EP - EDGE OF PAVEMENT	SSPWC - "GREENBOOK" STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION
EVC - END VERTICAL CURVE	SSWR - SANITARY SEWER
EVCS - ELECTRIC VEHICLE CHARGING STATION	STA - STATION
EX - EXISTING	STD - STANDARD
FDC - FIRE DEPARTMENT CONNECTION	SW - SIDEWALK
FF - FINISHED FLOOR	SWPPP - STORMWATER POLLUTION PREVENTION PLAN
FG - FINISHED GRADE	T - TELEPHONE, TRANSFORMER
FH - FIRE HYDRANT	TC - TOP OF CURB
FL - FLOW LINE	TCM - TREATMENT CONTROL MEASURE
FS - FINISHED SURFACE	TEMP - TEMPORARY
FT - FEET	TG - TOP OF GRATE
FW - FIRE WATER	TS - TOP OF STAIR
G - GAS	TW - TOP OF WALL FINISHED GRADE
GB - GRADE BREAK	TYP - TYPICAL
GI - GREASE INTERCEPTOR	VIF - VERIFY IN FIELD
HDPE - HIGH-DENSITY POLYETHYLENE	W - WATER, WEST
HGL - HYDRAULIC GRADE LINE	XX,XX - PROPOSED ELEVATION
HP - HIGH POINT	(XX.XX) - EXISTING ELEVATION
INV - INVERT	
IRR - IRRIGATION WATER	

**SITE INFORMATION**

ADDRESS: NEC S. WATT AVE. & ELDER CREEK RD., SACRAMENTO, CA  
 APN: 062-0060-033  
 SITE AREA: 485,380 SF/1.106 AC  
 EXISTING ZONING: LIGHT INDUSTRIAL (M-1S)  
 SPECIFIC PLAN: FRUITRIDGE BROADWAY COMMUNITY PLAN  
 PROPOSED ZONING: NO CHANGE  
 EXISTING USE: VACANT  
 PROPOSED USE: FUEL STATION AND CONVENIENCE STORE  
 CONVENIENCE STORE: 4,761 SF  
 AUTO FUEL CANOPY: 2,970 SF  
 TRUCK FUEL CANOPY: 2,030 SF  
 TOTAL COVERAGE AREA: 9,761 SF  
 LOT COVERAGE: 11.4%

**FEMA FLOOD ZONE**

ZONE: ZONE X  
 DEFINITION: AREA DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD AND PROTECTED BY LEVEE FROM THE 100 YEAR FLOOD.  
 MAP NUMBER: 06067C0215H  
 MAP DATE: 08/15/2012

**BASIS OF BEARINGS NOTE**

THE BEARING OF SOUTH 89° 47' 12" TAKEN ON THE CENTER LINE OF ELDER CREEK ROAD AS SHOWN ON THAT CERTAIN PARCEL MAP FILED FOR RECORD ON FEBRUARY 20, 1979, IN BOOK 46 OF PARCEL MAPS AT PAGE 3, OFFICIAL RECORDS OF SACRAMENTO COUNTY WAS TAKEN AS THE BASIS FOR ALL BEARINGS SHOWN HEREON.

**BENCHMARK NOTE**

HILTI NAIL LIGHT BASE WEST SIDE OF 88TH ST. AT 43RD AVENUE  
 ELEVATION = 48.953 FEET (NAVD 1988)

**UTILITY PURVEYORS**

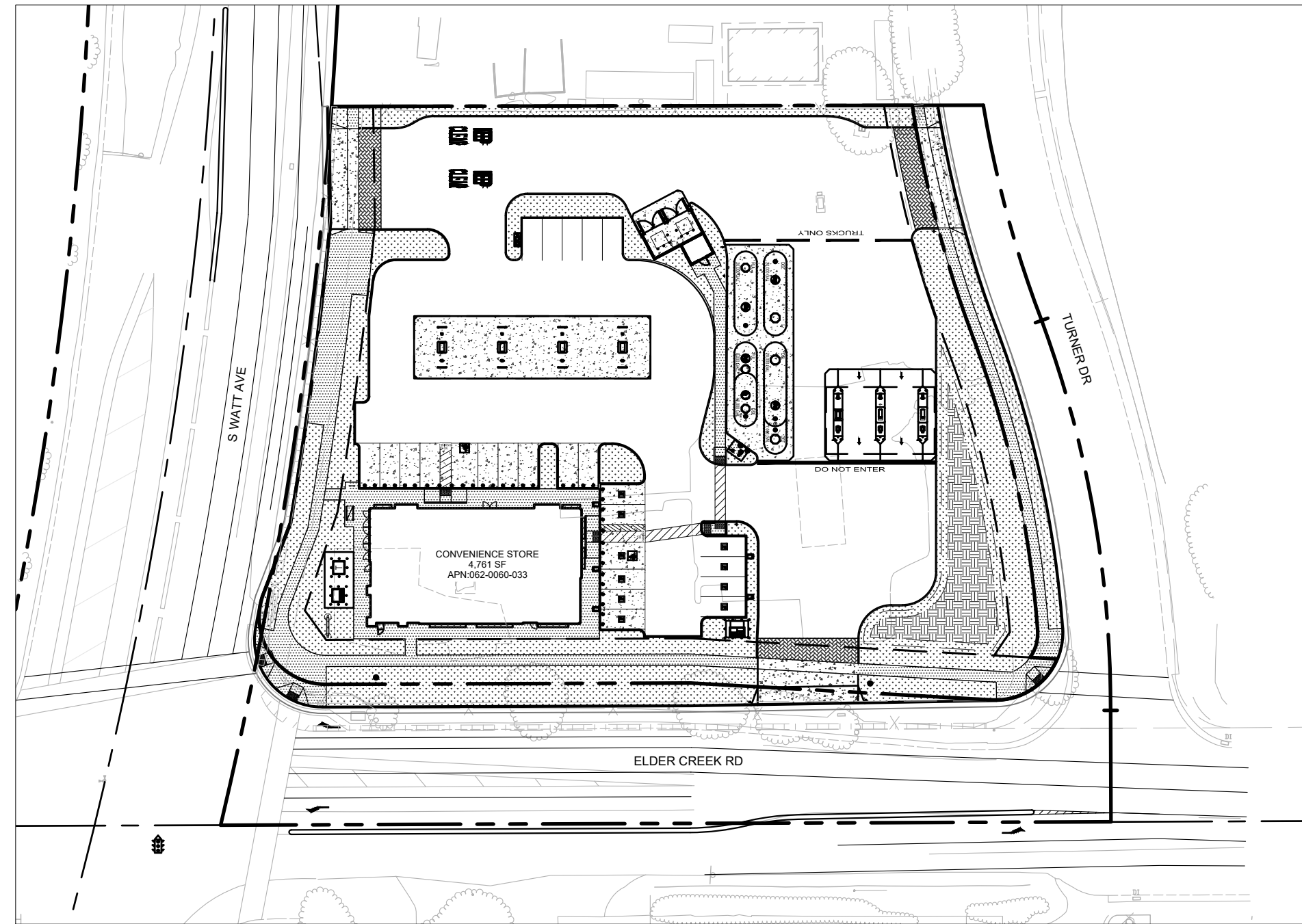
<b>WATER</b> CITY OF SACRAMENTO 1395 35TH AVE SACRAMENTO, CA 95822 (916) 808-5454	<b>ELECTRIC</b> SACRAMENTO MUNICIPAL UTILITY DISTRICT (SMUD) 6301 S ST SACRAMENTO, CA 95817 (888) 742-7683
<b>SEWER</b> CITY OF SACRAMENTO 1395 35TH AVE SACRAMENTO, CA 95822 (916) 808-5454	<b>GAS</b> PACIFIC GAS AND ELECTRIC (PG&E) 5555 FLORIN PERKINS RD SACRAMENTO, CA 95826 (800) 743-5000
<b>STORM DRAIN</b> CITY OF SACRAMENTO 1395 35TH AVE SACRAMENTO, CA 95822 (916) 808-5454	

# IMPROVEMENT PLANS

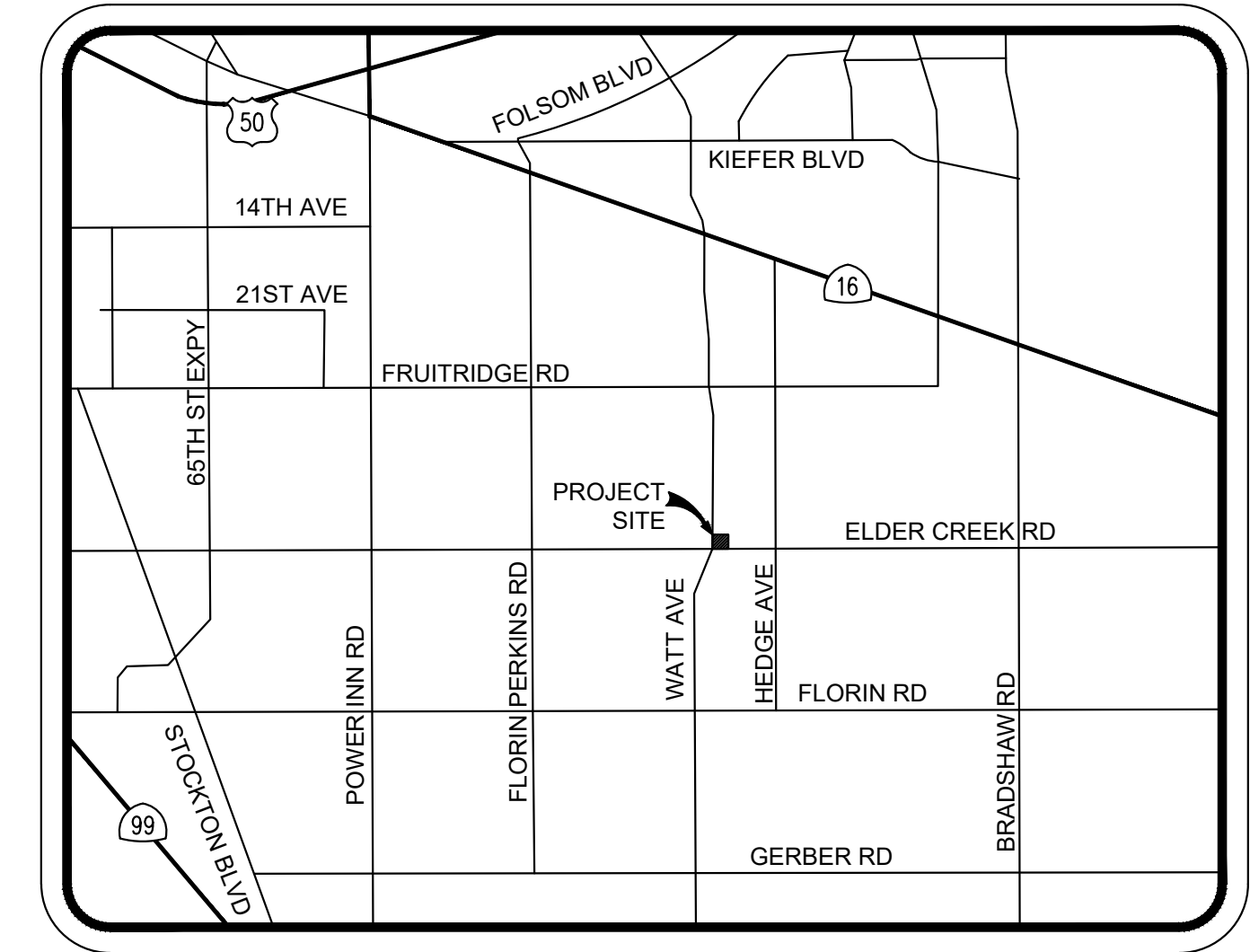
FOR

# 7-ELEVEN

**NEC S. WATT AVE. & ELDER CREEK RD.  
SACRAMENTO, CA**



**SITE MAP**  
NOT TO SCALE



**VICINITY MAP**  
NOT TO SCALE

SHEET INDEX	
SHEET NUMBER	SHEET TITLE
C001	COVER SHEET
C002	GENERAL NOTES
C100	DEMOLITION PLAN
C200	EROSION CONTROL PLAN
C300	SITE PLAN
C400	GRADING PLAN
C500	UTILITY PLAN
C600	STORMWATER CONTROL PLAN
L100	LANDSCAPE PLAN
L200	TREE SHADING PLAN
P1.0	PRELIMINARY FLOOR PLAN
P2.0	DUMPSTER ENCLOSURE & DETAILS
P3.0	DIMENSIONED FLOOR PLAN
P4.0	ROOF PLAN
P5.0	EXTERIOR ELEVATIONS
P6.0	EXTERIOR ELEVATIONS
-	SIGNAGE PACKAGE

**PROJECT TEAM**

<b>7-ELEVEN</b> CRYSTAL JUSTICE 7-ELEVEN, INC. 3200 HACKBERRY RD IRVING, TX 75063 CRYSTAL.JUSTICE@7-11.COM 916-742-0232	<b>LANDSCAPE ARCHITECT</b> MATTHEW MORGAN, PLA KIMLEY-HORN AND ASSOCIATES, INC. 10 S ALMADEN BLVD #1250 SAN JOSE, CA 95113 MATTHEW.MORGAN@KIMLEY-HORN.COM 669-800-4130
<b>CIVIL ENGINEER</b> NATHAN MAHONEY, PE KIMLEY-HORN AND ASSOCIATES, INC. 4637 CHABOT DRIVE, SUITE 300 PLEASANTON, CA 94588 NATHAN.MAHONEY@KIMLEY-HORN.COM 925-398-4840	<b>ARCHITECT</b> STAYTON WOOD, RA THE DIMENSION GROUP 5600 S QUEBEC ST, SUITE 205B GREENWOOD VILLAGE, CO 80111 SWOOD@DIMENSIONGROUP.COM 720-663-1046

**PRELIMINARY EARTHWORK**

CUT: 1,932 CY  
 FILL: 572 CY  
 NET: 1,360 CY (CUT)

NOTE: THE EARTHWORK QUANTITIES ABOVE ARE FOR PERMIT PURPOSES ONLY. THE CONTRACTOR IS NOT AUTHORIZED TO USE THE ESTIMATES HEREIN FOR BIDDING AND CONSTRUCTION PURPOSES WITHOUT THE EXPLICIT WRITTEN PERMISSION OF THE ENGINEER OF RECORD. NO REPRESENTATIONS OF SUCH QUANTITIES OR A BALANCED SITE CONDITION ARE MADE BY THE ENGINEER OF RECORD.

UNLESS EXPLICITLY STATED OTHERWISE HEREIN, THE ABOVE QUANTITIES ARE APPROXIMATE, IN PLACE VOLUMES CALCULATED FROM THE EXISTING GROUND TO THE PROPOSED FINISHED GRADE. EXISTING GROUND IS DEFINED BY THE CONTOURS AND SPOT GRADES ON THE BASE SURVEY. PROPOSED FINISHED GRADE IS DEFINED AS THE FINAL GRADE AS INDICATED ON THE GRADING PLAN(S) AS FINISHED GROUND, FINISHED SURFACE, AND FINISHED FLOOR ELEVATIONS.

UNLESS EXPLICITLY STATED OTHERWISE HEREIN, THE ABOVE GRADING QUANTITIES HAVE NOT BEEN FACTORED TO ACCOUNT FOR CHANGES IN VOLUME DUE TO BULKING, CLEARING AND GRUBBING, SHRINKAGE, SUBSIDENCE, OVER-EXCAVATION AND RE-COMPACTION, AND CONSTRUCTION METHODS. NOR DO THEY ACCOUNT FOR THE THICKNESS OF PAVEMENT SECTIONS, STORMWATER QUALITY MEDIA SECTIONS, UTILITY PIPES, TRENCHING AND BEDDING MATERIALS, BUILDING OR WALL FOOTINGS, BUILDING SLAB THICKNESSES AND UNDERLYING BASE OR SAND LAYERS, REUSE OF PULVERIZED MATERIALS THAT WILL UNDERLIE NEW PAVEMENTS, ETC.

ANY OVEREXCAVATION AND RECOMPACTION DEPTHS AND VOLUMES, SHRINKAGE FACTORS, PAVEMENT SECTIONS, PAVEMENT SECTIONS, BUILDING PAD SECTIONS, AND BULKING FACTORS ARE BASED ON A SEPARATE GEOTECHNICAL REPORT. ANY BUILDING SLAB THICKNESSES ARE BASED ON THE SEPARATE BUILDING STRUCTURAL ENGINEERING PLANS. ANY UTILITY, STORMWATER MITIGATION, AND FOOTING SPOILS ARE BASED ON ESTIMATES PROVIDED BY THE OWNER OR CONTRACTOR.

**CODE DATA**

GOVERNING CODES (AS AMENDED BY THE SACRAMENTO CITY CODE):  
 2022 CALIFORNIA BUILDING CODE (CBC)  
 2022 CALIFORNIA ELECTRICAL CODE (CEC)  
 2022 CALIFORNIA PLUMBING CODE (CPC)  
 2022 CALIFORNIA MECHANICAL CODE (CMC)  
 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN)  
 2022 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS  
 CALIFORNIA TITLE 24 ACCESSIBILITY REQUIREMENTS  
 2022 CALIFORNIA FIRE CODE (CFC)  
 SACRAMENTO CITY CODE

NO.	REVISIONS	DATE

PROTO: 9350 CST CFL 2023-01

**7-ELEVEN, INC.**  
3200 HACKBERRY ROAD, IRVING, TEXAS 75063  
**7-ELEVEN #41217**  
NEC S WATT AVE & ELDER CREEK RD  
SACRAMENTO, CA 95829  
**COVER SHEET**



**Kimley-Horn**  
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 4637 CHABOT DRIVE, SUITE 300, PLEASANTON, CA 94588  
 PHONE: 925-398-4840 FAX: 925-398-4849  
 WWW.KIMLEY-HORN.COM

<b>CONSULTANT JOB #:</b> 190098163	<b>DATE:</b> 11/18/2024	<b>DRAWN BY:</b> JP	<b>CHECKED BY:</b> NM
<b>7-11 SITE/STORE #:</b> 1045746/41217	<b>SCALE:</b> AS NOTED		



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**PARK PLANNING AND DEVELOPMENT SERVICES ADVISORY NOTES:**

- AS PER CITY CODE, THE APPLICANT WILL BE RESPONSIBLE TO MEET HIS/HER OBLIGATIONS REGARDING:
  - TITLE 18, 18.56 PARK DEVELOPMENT IMPACT FEE, DUE AT THE TIME OF ISSUANCE OF BUILDING PERMIT. THE PARK DEVELOPMENT IMPACT FEE FOR THIS PROJECT IS ESTIMATED AT \$2,456. THE PARK DEVELOPMENT IMPACT FEE DUE FOR THIS PROJECT IS BASED ON THE REMAINDER CITY ZONE RATE OF \$0.47 PER SQUARE FOOT FOR COMMERCIAL SERVICES PROJECTS. NOTE THAT THE PARK DEVELOPMENT IMPACT FEE INCREASED ON JULY 1, 2020. ANY CHANGE IN THESE FACTORS WILL CHANGE THE AMOUNT OF THE PIF DUE. THE FEE IS CALCULATED USING FACTORS AT THE TIME THAT THE PROJECT IS SUBMITTED FOR BUILDING DUE.

**REGIONAL SAN ADVISORY NOTES:**

- THE SACRAMENTO AREA SEWER DISTRICT (SASD) IS RESPONSIBLE FOR PROVIDING LOCAL SEWER SERVICE TO THE PROPOSED PROJECT SITE VIA THEIR LOCAL SANITARY SEWER COLLECTION REGIONAL SAN IS RESPONSIBLE FOR THE CONVEYANCE OF WASTEWATER FROM THE SASD COLLECTION SYSTEM TO THE SACRAMENTO REGIONAL WASTEWATER TREATMENT PLANT (SRWTP). SASD WILL RESPOND VIA SEPARATE CORRESPONDENCE.

**REGIONAL SAN CONDITION NOTES:**

- REGIONAL SAN HAS THE 102 CENTRAL INTERCEPTOR (REGIONAL SAN OPERATING SYSTEM N21 LOCATED WITHIN THE PROPOSED PROJECT'S BOUNDARIES. DIRECT CONNECTIONS TO THE INTERCEPTOR WILL NOT BE ALLOWED.
- DEVELOPING THIS PROPERTY WILL REQUIRE THE PAYMENT OF REGIONAL SAN SEWER IMPACT (CONNECTION FEES). REGIONAL SAN SEWER IMPACT FEES SHALL BE PAID PRIOR TO THE ISSUANCE OF BUILDING PERMITS. FOR QUESTIONS PERTAINING TO REGIONAL SAN SEWER IMPACT FEES, PLEASE CONTACT THE PERMIT SERVICES UNIT AT (916) 8766100 OR BY EMAIL AT PERMITSERVICES@SACSEWER.COM.

**FIRE ADVISORY NOTES:**

- TIMING AND INSTALLATION. WHEN FIRE PROTECTION, INCLUDING FIRE APPARATUS ACCESS ROADS AND WATER SUPPLIES FOR FIRE PROTECTION, IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION. CFC 501.4
- PROVIDE A WATER FLOW TEST. (MAKE ARRANGEMENTS AT THE PERMIT CENTER WALK-IN COUNTER: 300 RICHARDS BLVD, SACRAMENTO, CA 95814). CFC 507.4
- PROVIDE APPROPRIATE KNOX ACCESS FOR SITE. CFC SECTION 506
- AN APPROVED FIRE CONTROL ROOM SHALL BE PROVIDED FOR ALL BUILDINGS PROTECTED BY AN AUTOMATIC FIRE EXTINGUISHING SYSTEM. THE ROOM SHALL CONTAIN ALL SYSTEM CONTROL VALVES, FIRE ALARM CONTROL PANELS AND OTHER FIRE EQUIPMENT REQUIRED BY THE FIRE CODE OFFICIAL. FIRE CONTROL ROOMS SHALL BE LOCATED WITHIN THE BUILDING AT A LOCATION APPROVED BY THE FIRE CODE OFFICIAL, AND SHALL BE PROVIDED WITH A MEANS TO ACCESS THE ROOM DIRECTLY FROM THE EXTERIOR. DURABLE SIGNAGE SHALL BE PROVIDED ON THE EXTERIOR SIDE OF THE ACCESS DOOR TO IDENTIFY THE FIRE CONTROL ROOM. FIRE CONTROL ROOMS SHALL NOT BE LESS THAN 50 SQUARE FEET FOR ROOMS WITHOUT A FIRE PUMP AND 200 SQUARE FEET WHEN A FIRE PUMP IS PRESENT. CFC AMENDMENTS 901.4.7

**SASD CONDITION NOTE:**

- PRIOR TO THE APPROVAL OF IMPROVEMENT PLANS: TO OBTAIN SEWER SERVICE, CONSTRUCTION OF SASD SEWER INFRASTRUCTURE WILL BE REQUIRED. CURRENT SASD STANDARDS AND SPECIFICATIONS APPLY TO ANY OFFSITE OR ONSITE PUBLIC SEWER CONSTRUCTION OR MODIFICATION. THESE IMPROVEMENTS MUST BE SHOWN ON THE PLANS. FIELD MODIFICATIONS TO NEW OR EXISTING PRECAST MANHOLE BASES ARE NOT ALLOWED.
- PRIOR TO THE APPROVAL OF IMPROVEMENT PLANS: SASD REQUIRES EACH BUILDING ON EACH LOT WITH A SEWAGE SOURCE TO HAVE A SEPARATE CONNECTION TO SASD'S SEWER SYSTEM. IF THERE IS MORE THAN ONE BUILDING IN ANY SINGLE PARCEL AND THE PARCEL IS NOT PROPOSED FOR SPLIT, THEN EACH BUILDING ON THAT PARCEL MUST HAVE A SEPARATE CONNECTION TO A PRIVATE ONSITE SEWER LINE OR A SEPARATE CONNECTION TO THE SASD PUBLIC SEWER LINE. THESE IMPROVEMENTS MUST BE SHOWN ON THE PLANS.
- PRIOR TO THE APPROVAL OF IMPROVEMENT PLANS: ALIGNMENT OF ALL MAIN LINES AND STRUCTURES MUST PROVIDE A MINIMUM OF 1 FOOT VERTICAL CLEARANCE AND 5 FEET HORIZONTAL CLEARANCE FROM ALL OTHER UTILITIES AND IMPROVEMENTS. SEWER IS TO BE LOCATED A MINIMUM OF 10 FEET (MEASURED HORIZONTALLY) FROM ANY STRUCTURE OR FOOTING. SHOW PUBLIC SANITARY SEWER AND WATER SUPPLY FACILITIES IN ACCORDANCE WITH THE HEALTH AND SAFETY CODE.
- PRIOR TO THE ISSUANCE OF A BUILDING PERMIT: THE OWNER MUST CONTACT PERMIT SERVICES UNIT AT PERMITSERVICES@SACSEWER.COM OR BY PHONE AT (916) 876-6100 TO DETERMINE IF SEWER IMPACT FEES ARE DUE. FEES ARE TO BE PAID PRIOR TO THE ISSUANCE OF BUILDING PERMITS.

**SASD ADVISORY NOTES:**

- ONGOING: SASD DESIGN STANDARDS AND SPECIFICATIONS REQUIRE MINIMUM 6-INCH LOWER LATERALS FOR COMMERCIAL AND INDUSTRIAL BUILDINGS.
- ONGOING: CONSTRUCTION OF A GREASE TRAP OR A SAND OIL SEPARATOR MAY BE REQUIRED. THE APPLICANT MUST VERIFY WITH THE APPLICABLE JURISDICTIONS BUILDING DEPARTMENT.
- ONGOING: IF THE PROPOSED GARBAGE ENCLOSURE WILL CONTAIN A DRAIN TO THE SEWER, IT MUST BE COVERED.

**DOU ANNEXATION CONDITION NOTES:**

- THE DEVELOPMENT OF THIS SITE MUST COMPLY WITH THE CURRENT CITY OF SACRAMENTO DESIGN STANDARDS. THE WATER AND DRAINAGE SERVICES SHALL BE LOCATED, DESIGNED AND CONSTRUCTED PER THE CITY OF SACRAMENTO DESIGN AND PROCEDURE MANUAL AND SHALL BE TO THE SATISFACTION OF THE DEPARTMENT OF UTILITIES (DOU).
- PRIOR TO THE INITIATION OF WATER AND STORM DRAINAGE SERVICES, THE DEVELOPER MUST COMPLETE THE ANNEXATION PROCESS WITH THE CITY OF SACRAMENTO. EVIDENCE OF THE COMPLETION SHALL BE SUBMITTED TO THE DOU CONCURRENT WITH THE BUILDING PERMIT APPLICATION. (NOTE: THE DOU WILL NOT INSTALL ANY SERVICES UNTIL THE ANNEXATION IS COMPLETED AND RECORDED.)

**DOU BUILDING PERMIT CONDITION NOTES:**

- PER CITY CODE SECTION, 13.04.070, MULTIPLE WATER SERVICE TO A SINGLE LOT OR PARCEL MAY BE ALLOWED IF APPROVED BY DOU DEVELOPMENT REVIEW AND OPERATIONS AND MAINTENANCE STAFF. ANY NEW WATER SERVICES (OTHER THAN FIRE) SHALL BE METERED. EXCESS SERVICES SHALL BE ABANDONED TO THE SATISFACTION OF THE DOU. (NOTE: WATER TAPS ACROSS STREET MEDIANS ARE NOT ALLOWED, UNLESS OTHERWISE APPROVED BY THE DOU.)
- CONCURRENT WITH THE SUBMITTAL OF IMPROVEMENT PLANS, PREPARE A PROJECT SPECIFIC WATER STUDY FOR REVIEW AND APPROVAL BY THE DOU. THE WATER DISTRIBUTION SYSTEM SHALL BE DESIGNED TO SATISFY THE MORE CRITICAL OF THE TWO FOLLOWING CONDITIONS:
  - AT MAXIMUM DAY PEAK HOUR DEMAND, THE OPERATING OR "RESIDUAL" PRESSURE AT ALL WATER SERVICE CONNECTIONS SHALL BE AT LEAST 30 POUNDS PER SQUARE INCH.
  - AT AVERAGE MAXIMUM DAY DEMAND PLUS FIRE FLOW, THE OPERATING OR "RESIDUAL" PRESSURE IN THE AREA OF THE FIRE SHALL NOT BE LESS THAN 20 POUNDS PER SQUARE INCH. THE WATER STUDY SHALL DETERMINE IF THE EXISTING AND PROPOSED WATER DISTRIBUTION SYSTEM IS ADEQUATE TO SUPPLY FIRE FLOW DEMANDS FOR THE PROJECT. A WATER SUPPLY TEST MAY BE REQUIRED FOR THIS PROJECT. THE APPLICANT IS ADVISED TO CONTACT THE CITY OF SACRAMENTO UTILITIES DEPARTMENT DEVELOPMENT REVIEW SECTION (916-808-7890) AT THE EARLY PLANNING STAGES TO ADDRESS ANY WATER RELATED REQUIREMENTS. FAILURE TO SUBMIT THE WATER STUDY MAY DELAY REVIEW AND APPROVAL.
- THE PROPOSED DEVELOPMENT IS NOT CONTIGUOUS TO AN EXISTING PUBLIC WATER MAIN. THE PROPERTY OWNER/DEVELOPER SHALL CONSTRUCT OFF-SITE WATER MAIN EXTENSIONS AS DETERMINED BY THE DOU. (NOTE: CONSTRUCT A WATER MAIN EXTENSION AND APPURTENANCES IN SOUTH WATT AVENUE ON THE EAST SIDE OF THE STREET MEDIAN. TAPS TO THE EXISTING 12" CITY WATER MAIN LOCATED IN THE WEST SIDE OF THE STREET MEDIAN ARE NOT ALLOWED, UNLESS OTHERWISE APPROVED BY THE DOU. THE CONSTRUCTION OF THE NEW WATER MAIN SHALL BE TO THE SATISFACTION OF THE DOU.)
- TWO POINTS OF SERVICE FOR THE PUBLIC WATER DISTRIBUTION SYSTEM FOR THIS DEVELOPMENT ARE REQUIRED. ALL WATER LINES SHALL BE PLACED WITHIN THE ASPHALT SECTION OF PUBLIC RIGHT-OF-WAYS AS PER THE CITY'S DESIGN AND PROCEDURES MANUAL.
- COMMON AREA LANDSCAPING GREATER THAN 5,000 SQUARE FEET SHALL HAVE A SEPARATE STREET TAP FOR A METERED IRRIGATION SERVICE.

- THE APPLICANT SHALL PREPARE A PROJECT SPECIFIC DRAINAGE STUDY MEETING THE CRITERIA SPECIFIED IN THE CURRENT ONSITE DESIGN MANUAL FOR REVIEW AND APPROVAL BY THE DOU. THIS PROJECT SITE HAS TWO DRAINAGE SHED. A PORTION OF THIS SITE DRAINS TO THE CITY AND THE OTHER PORTION DRAINS TO THE COUNTY. CONNECTIONS TO THE EXISTING DRAINAGE SYSTEM SHALL BE CONSISTENT WITH THE EXISTING DRAINAGE SHED AREAS OR OTHERWISE APPROVED BY THE DOU. MODIFICATION TO THE DRAINAGE SHED MAY REQUIRE COORDINATION BETWEEN THE COUNTY AND CITY. THE REQUIRED DETENTION VOLUME CAN BE PARTIALLY OR FULLY MITIGATED BY IMPLEMENTING LOW IMPACT DEVELOPMENT (LID) FEATURES SUCH AS STORMWATER PLANTERS AND POROUS PAVEMENT, PROVIDED THESE FEATURES CONFORM TO THE DOU'S HYDROMODIFICATION MANAGEMENT PLAN (HMP) REQUIREMENTS. DESIGNER SHALL UTILIZE THE LATEST EDITION OF THE SACRAMENTO AREA HYDROLOGY MODEL (SAHM) WHEN USING LID FEATURES. THE APPLICANT IS ADVISED TO CONTACT THE CITY OF SACRAMENTO UTILITIES DEPARTMENT DEVELOPMENT REVIEW SECTION (916-808-7890) AT THE EARLY PLANNING STAGES TO ADDRESS ANY DRAINAGE RELATED REQUIREMENTS. FAILURE TO SUBMIT THE DRAINAGE STUDY MAY DELAY REVIEW AND APPROVAL. (NOTE: A MAINTENANCE AGREEMENT MAY BE REQUIRED FOR DETENTION AND LOW IMPACT DEVELOPMENT (LID) FEATURES.)
- THE ONSITE WATER AND STORM DRAIN SYSTEMS SHALL BE PRIVATE SYSTEMS MAINTAINED BY THE OWNER OR OTHER APPROVED ENTITY.
- FINISHED FLOOR ELEVATIONS SHALL BE A MINIMUM OF 6-INCHES ABOVE THE 100-YEAR HGL OR 1-FOOT ABOVE THE OVERLAND FLOW RELEASE ELEVATION, WHICHEVER IS HIGHER OR AS APPROVED BY THE DOU.
- PER CITY CODE, THE APPLICANT MAY NOT DEVELOP THE PROJECT IN ANY WAY THAT OBSTRUCTS, IMPEDES, OR INTERFERES WITH THE NATURAL FLOW OF EXISTING OFF-SITE DRAINAGE THAT CROSSES THE PROPERTY. THE PROJECT SHALL CONSTRUCT THE REQUIRED PUBLIC AND/OR PRIVATE INFRASTRUCTURE TO HANDLE OFF-SITE RUNOFF TO THE SATISFACTION OF THE DOU. IF PRIVATE INFRASTRUCTURE IS CONSTRUCTED TO HANDLE OFF-SITE RUNOFF, THE APPLICANT SHALL DEDICATE THE REQUIRED PRIVATE EASEMENTS, AND/OR, AT THE DISCRETION OF THE DOU, THE APPLICANT SHALL ENTER INTO AND RECORD AN AGREEMENT FOR MAINTENANCE OF DRAINAGE WITH THE CITY, IN A FORM ACCEPTABLE TO THE CITY ATTORNEY.
- NO MORE THAN 6,000 SQUARE FEET IS ALLOWED TO SHEET DRAIN OVER A PUBLIC SIDEWALK. IF THE AREA IS LARGER THAN 6,000 SQUARE FEET, THEN AN ON-SITE SURFACE DRAINAGE SYSTEM IS REQUIRED AND SHALL BE CONNECTED TO THE STREET DRAINAGE SYSTEM BY MEANS OF A STORM DRAIN SERVICE TAP. ALL ON-SITE SYSTEMS SHALL BE DESIGNED TO THE STANDARD SPECIFIED IN THE DOU ONSITE MANUAL.
- A GRADING PLAN SHOWING EXISTING AND PROPOSED ELEVATIONS IS REQUIRED. ADJACENT OFF-SITE TOPOGRAPHY SHALL ALSO BE SHOWN TO THE EXTENT NECESSARY TO DETERMINE IMPACTS TO EXISTING SURFACE DRAINAGE PATH. NO GRADING SHALL OCCUR UNTIL THE GRADING PLAN HAS BEEN REVIEWED AND APPROVED BY THE DOU.
- THIS PROJECT WILL DISTURB MORE THAN ONE ACRE OF LAND; THEREFORE, THE PROJECT IS REQUIRED TO COMPLY WITH THE STATES CONSTRUCTION GENERAL PERMIT. TO COMPLY WITH THE STATE PERMIT, THE APPLICANT MUST FILE A NOTICE OF INTENT (NOI) THROUGH THE STATES STORM WATER MULTIPLE APPLICATION AND REPORT TRACKING SYSTEM (SMARTS). A VALID WUID NUMBER MUST BE OBTAINED AND PROVIDED TO THE DOU PRIOR TO THE ISSUANCE OF ANY GRADING PERMITS.
- THE APPLICANT MUST COMPLY WITH THE CITY OF SACRAMENTO'S GRADING, EROSION AND SEDIMENT CONTROL ORDINANCE. THIS ORDINANCE REQUIRES THE APPLICANT TO SHOW EROSION AND SEDIMENT CONTROL METHODS ON THE CONSTRUCTION DRAWINGS. THESE PLANS SHALL ALSO SHOW THE METHODS TO CONTROL URBAN RUNOFF POLLUTION FROM THE PROJECT SITE DURING CONSTRUCTION.
- POST CONSTRUCTION (PERMANENT), STORMWATER QUALITY CONTROL MEASURES SHALL BE INCORPORATED INTO THE DEVELOPMENT TO MINIMIZE THE INCREASE OF URBAN RUNOFF POLLUTION CAUSED BY DEVELOPMENT OF THE PATH. THE PROJECT IS AN AREA NOT SERVED BY AN EXISTING REGIONAL WATER QUALITY CONTROL FACILITY AND/OR THE PROJECT HAS MORE THAN ONE-ACRE OF NEW OR MODIFIED IMPERVIOUS AREA, THEREFORE, LOW IMPACT DEVELOPMENT (LID), HYDROMODIFICATION MANAGEMENT (HM), AND ON-SITE TREATMENT CONTROL MEASURES WILL BE REQUIRED. THE ON-SITE STORM WATER TREATMENT CONTROL MEASURES REQUIRED MAY AFFECT SITE DESIGN AND SITE CONFIGURATION AND SHOULD BE CONSIDERED DURING EARLY PLANNING STAGES.
- THIS PROJECT IS REQUIRED TO INCORPORATE CERTIFIED FULL CAPTURE TRASH CONTROL DEVICES. PLEASE REFER TO APPENDIX H IN THE STORMWATER QUALITY DESIGN MANUAL FOR THE SACRAMENTO REGION (JULY 2018) FOR MORE DETAILS.
- A MAINTENANCE AGREEMENT IS REQUIRED FOR ALL ON-SITE TREATMENT CONTROL MEASURES AND ON-SITE FULL CAPTURE TRASH CONTROL SYSTEMS. CONTACT DOU FOR A LIST OF ACCEPTED PROPRIETARY DEVICES IF CONSIDERED FOR TREATMENT CONTROL AND FULL CAPTURE TRASH CONTROL. CONSTRUCTION DRAWINGS MUST INCLUDE ALL PROPOSED SOURCE CONTROLS, ON-SITE WATER QUALITY MEASURES, AND ON-SITE FULL CAPTURE TRASH CONTROL FEATURES AND DEVICES SELECTED FOR THE SITE. REFER TO THE LATEST EDITION OF THE STORMWATER QUALITY DESIGN MANUAL FOR THE SACRAMENTO REGION FOR APPROPRIATE MEASURES.

**DOU ADVISORY NOTES:**

- THE PROPOSED DEVELOPMENT IS LOCATED WITHIN SACRAMENTO AREA SEWER DISTRICT (SASD). SATISFY ALL SASD REQUIREMENTS.
- MANY PROJECTS WITHIN THE CITY OF SACRAMENTO REQUIRE ON-SITE BOOSTER PUMPS FOR FIRE SUPPRESSION AND DOMESTIC WATER SYSTEMS. PRIOR TO DESIGN OF THE SUBJECT PROJECT, THE DOU SUGGESTS THAT THE APPLICANT REQUEST A WATER SUPPLY TEST TO DETERMINE WHAT PRESSURE AND FLOWS THE SURROUNDING PUBLIC WATER DISTRIBUTION SYSTEM CAN PROVIDE TO THE SITE. THIS INFORMATION CAN THEN BE USED TO ASSIST THE ENGINEERS IN THE DESIGN OF THE ON-SITE FIRE SUPPRESSION SYSTEM.
- WATER METERS SHALL BE LOCATED AT THE POINT OF SERVICE, WHICH IS BACK OF CURB FOR SEPARATED SIDEWALKS OR BACK OF WALK FOR CONNECTED SIDEWALKS.
- THE PROPOSED PROJECT IS LOCATED IN A ZONE X ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAPS (FIRMS). ACCORDINGLY, THE PROJECT SITE LIES IN AN AREA WITH NO REQUIREMENTS TO ELEVATE OR FLOOD PROOF.

NO.	REVISIONS	DATE

PROTO: 9350 CST CFL 2023-01

**7-ELEVEN, INC.**  
 3200 HACKBERRY ROAD, IRVING, TEXAS 75063

**7-ELEVEN #41217**  
 NEC S WATT AVE & ELDER CREEK RD  
 SACRAMENTO, CA 95829

**GENERAL NOTES**



**Kimley Horn**

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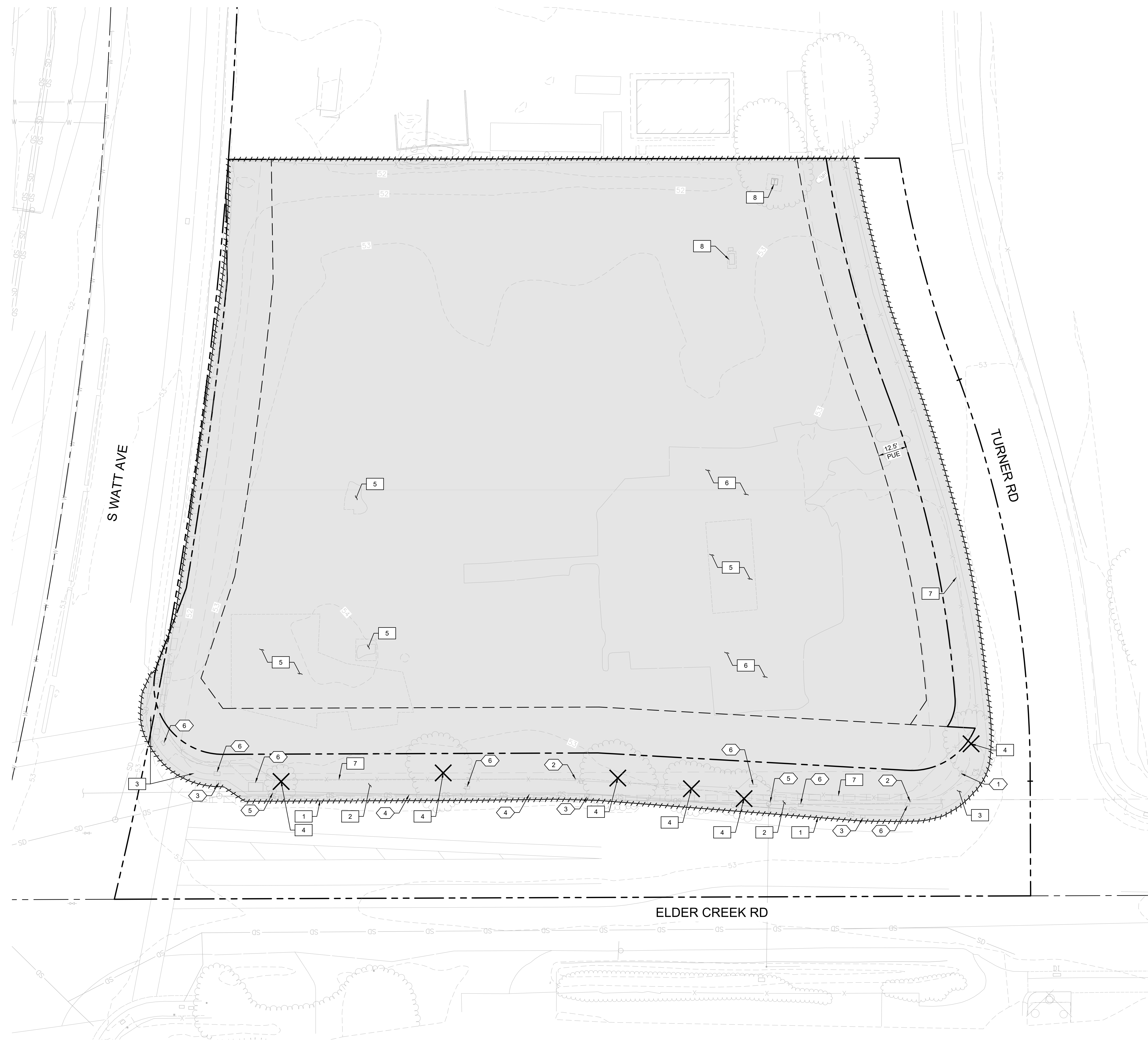
CONSULTANT JOB #: 195098163	7-11 SITE/STORE #: 1045746/41217	DATE: 11/18/2024	SCALE: AS NOTED	DRAWN BY: JP	CHECKED BY: NM
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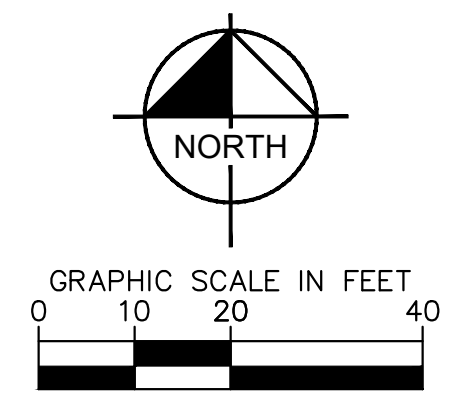
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LEGEND	
	PROPERTY LINE
	CENTER LINE
	EASEMENT LINE
	APPROXIMATE LIMIT OF DEMOLITION
	DEMOLISH EXISTING UTILITY
	DEMOLISH AND REMOVE ALL CURB, SIDEWALK, PAVEMENT, BASE COURSES, STRUCTURES, MISCELLANEOUS SURFACE IMPROVEMENTS, AND LANDSCAPING INCLUDING ROOTS AND ORGANIC MATERIAL WITHIN LIMITS UNLESS OTHERWISE NOTED
	DEMOLISH EXISTING TREE

- PROTECTION KEYNOTES**
- 1) RELOCATE EXISTING FIRE HYDRANT
  - 2) RELOCATE EXISTING LIGHT POLE
  - 3) CONVERT EXISTING DRAINAGE INLET TO JUNCTION BOX
  - 4) PROTECT-IN-PLACE EXISTING STORM DRAIN LINE
  - 5) EXISTING OVERHEAD ELECTRICAL LINES TO BE RELOCATED PER COORDINATION WITH SMUD AND CITY
  - 6) EXISTING ELECTRICAL STRUCTURE TO BE RELOCATED PER COORDINATION WITH SMUD AND CITY

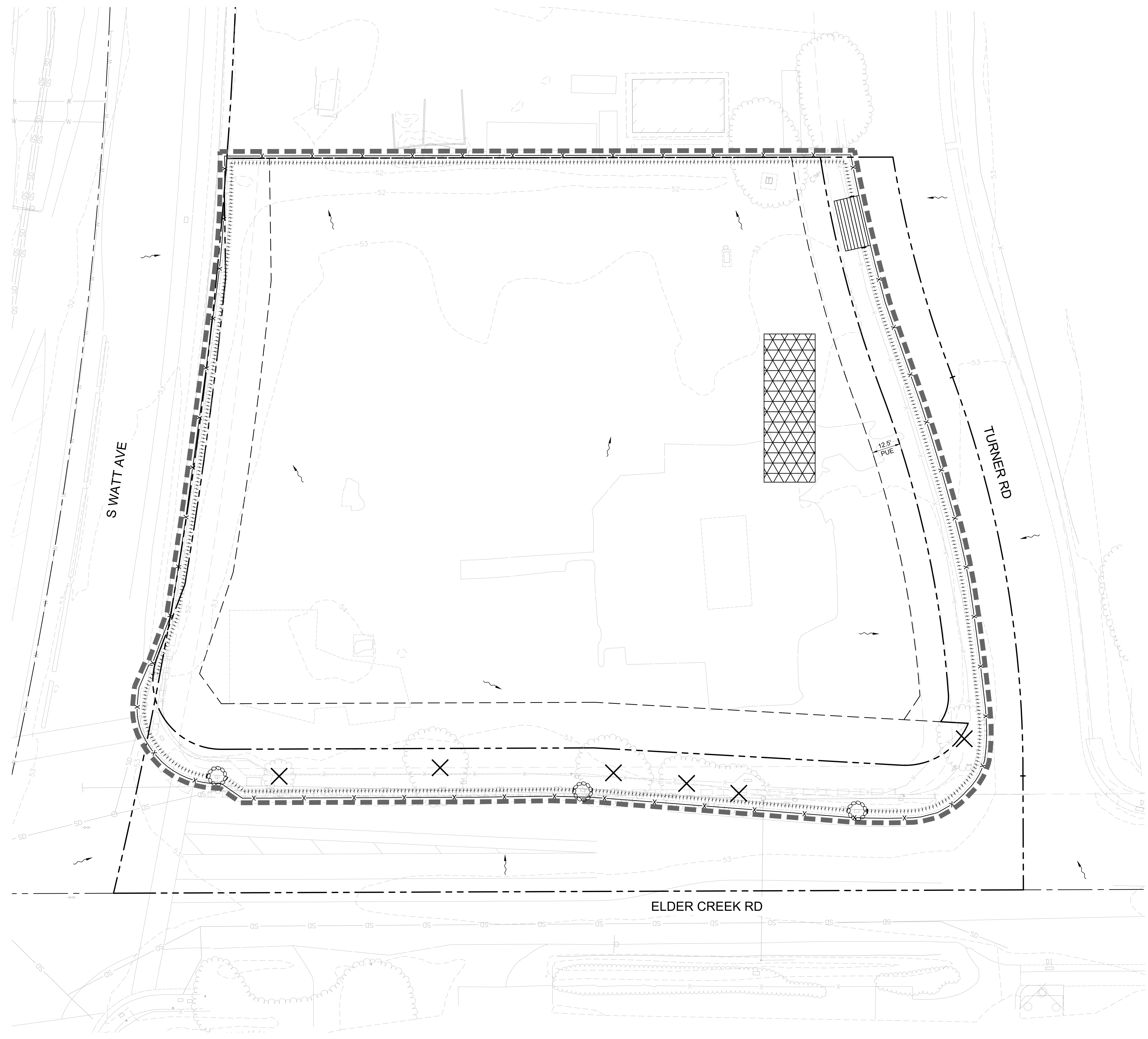
- DEMOLITION KEYNOTES**
- 1) DEMOLISH AND REMOVE EXISTING CONCRETE CURB AND GUTTER
  - 2) DEMOLISH AND REMOVE EXISTING CONCRETE SIDEWALK
  - 3) DEMOLISH AND REMOVE EXISTING CONCRETE CURB RAMP
  - 4) DEMOLISH AND REMOVE EXISTING TREE
  - 5) DEMOLISH AND REMOVE EXISTING CONCRETE PAD
  - 6) DEMOLISH AND REMOVE EXISTING ASPHALT PAVEMENT
  - 7) DEMOLISH AND REMOVE EXISTING CHAINLINK FENCE
  - 8) DEMOLISH AND REMOVE EXISTING ELECTRICAL UTILITY STRUCTURE



<p>7-ELEVEN, INC. 3200 HACKBERRY ROAD, IRVING, TEXAS 75063</p> <p>7-ELEVEN #41217 NEC S WATT AVE &amp; ELDER CREEK RD SACRAMENTO, CA 95829</p> <p><b>DEMOLITION PLAN</b></p>	<p>PROTO: 9350 CST CFL 2023-01</p> <p>NO. _____</p> <p>REVISIONS _____</p> <p>DATE _____</p>
<p><b>Kimley-Horn</b></p> <p>© 2024 KIMLEY-HORN AND ASSOCIATES, INC. 4637 CHABOT DRIVE, SUITE 300, PLEASANTON, CA 94588 PHONE: 925-398-4840 FAX: 925-398-4849 WWW.KIMLEY-HORN.COM</p>	
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<p>PRELIMINARY DRAWINGS NOT FOR CONSTRUCTION</p>	
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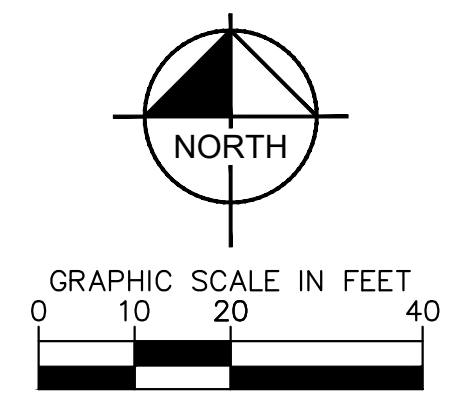
- ### LEGEND
- PROPERTY LINE
  - CENTER LINE
  - EASEMENT LINE
  - APPROXIMATE CIVIL LIMIT OF WORK
  - EXISTING GROUND CONTOUR
  - 100
  - TEMPORARY CHAIN LINK FENCE WITH GREEN SCREEN, CONTRACTOR TO MAINTAIN DURING ALL GRADING & MOBILIZATION ACTIVITIES.
  - LINEAR SEDIMENT CONTROL MEASURES PER CASQA BMP DETAILS SE-5, SE-6, SE-8, SE-9, SE-12, SE-13, OR SE-14, AS APPLICABLE
  - EXISTING SURFACE FLOW DIRECTION
  - STORM DRAIN INLET PROTECTION PER CASQA BMP DETAIL SE-10
  - STABILIZED CONSTRUCTION ENTRANCE/EXIT WITH TIRE WASH RACK PER CASQA BMP DETAIL TC-1 AND TC-3
  - DELIVERY, STORAGE, WASTE MANAGEMENT, CLEANING, FUELING AND MAINTENANCE AREA PER CASQA BMP DETAILS NS-8, NS-9, NS-10 AND WM-1 THROUGH WM-10. CONTRACTOR TO RESIZE AND RELOCATE AS NECESSARY WITH QSP APPROVAL.
  - TREE TO BE REMOVED

- ### EROSION CONTROL NOTES
1. ALL REFERENCES TO CASQA BMPs ON THIS PLAN REFER TO BEST MANAGEMENT PRACTICES AS OUTLINED IN THE CALIFORNIA STORMWATER QUALITY ASSOCIATION (CASQA) BMP HANDBOOK, LATEST EDITION.
  2. ADDITIONAL BMP MEASURES BEYOND WHAT ARE SHOWN ON THIS PLAN MAY APPLY DURING THE CONSTRUCTION OF THE PROJECT INCLUDING BUT NOT LIMITED TO:
    - EC-1, SCHEDULING
    - EC-2, PRESERVATION OF EXISTING VEGETATION
    - EC-3, HYDRAULIC MULCH
    - WE-1, WIND EROSION CONTROL
    - NS-1, WATER CONSERVATION PRACTICES
    - NS-3, PAVING AND GRINDING OPERATIONS
    - NS-7, POTABLE WATER/IRRIGATION
    - NS-12, CONCRETE CURING
    - NS-13, CONCRETE FINISHING
    - SE-7, STREET SWEEPING AND VACUUMING
  3. ALL BMPs ON THIS PLAN ARE SHOWN SCHEMATICALLY. FINAL LOCATIONS SHALL BE DETERMINED IN THE FIELD BY THE CONTRACTOR AS CONDITIONS DICTATE.
  4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTING, RELOCATING, AND MAINTAINING ALL BMPs AND MEASURES AS STATED ON THIS SITE MAP IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR AFTER FINAL STABILIZATION OF THE SITE.
  5. INLET PROTECTION SHALL BE INSTALLED AT ALL INLETS THAT MAY BE SUSCEPTIBLE TO CONSTRUCTION INFLUENCE.

THE CONTRACTOR SHALL MAINTAIN A TEMPORARY CHAIN LINK FENCE WITH GREEN SCREEN AT PROJECT LIMITS DURING ALL CONSTRUCTION & MOBILIZATION ACTIVITIES.

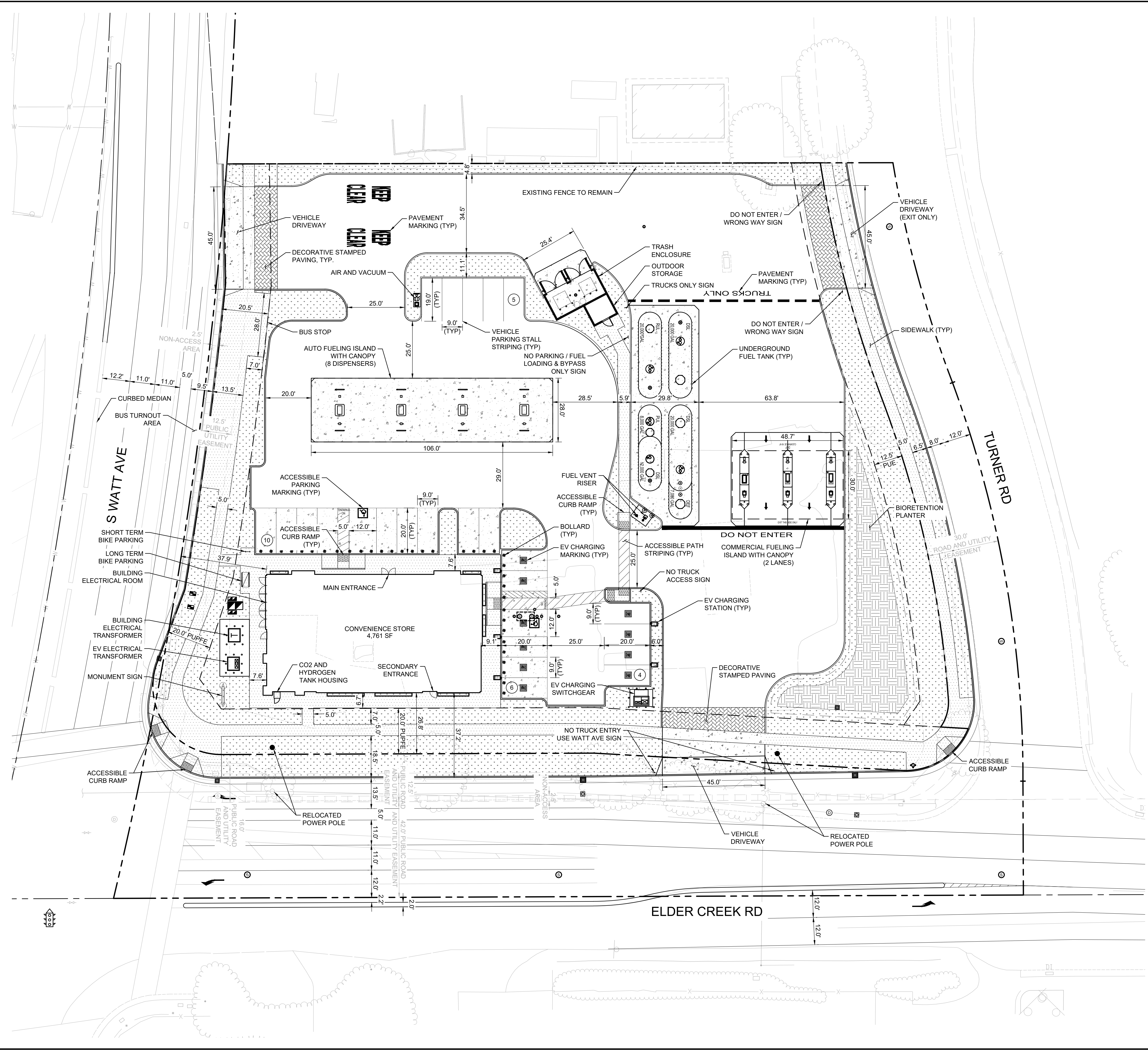
THE CONTRACTOR SHALL BE RESPONSIBLE FOR TRAFFIC CONTROL AND PEDESTRIAN CONTROL AT PROJECT LIMITS AND WHILE PERFORMING WORK IN THE PUBLIC RIGHT-OF-WAY.

CONTRACTOR TO USE BEST MANAGEMENT PRACTICES TO ENSURE COMPLIANCE WITH NPDES AND WATER MANAGEMENT DISTRICT REGULATIONS FOR STORMWATER DISCHARGE FROM CONSTRUCTION ACTIVITIES AND DEWATERING OPERATIONS.



<p>7-ELEVEN, INC. 3200 HACKBERRY ROAD, IRVING, TEXAS 75063</p> <p>7-ELEVEN #41217 NEC S WATT AVE &amp; ELDER CREEK RD SACRAMENTO, CA 95829</p> <p>EROSION CONTROL PLAN</p>	<p>PROTO: 9350 CST CFL 2023-01</p> <p>NO. _____</p> <p>REVISIONS _____</p> <p>DATE _____</p>
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<p>PRELIMINARY DRAWINGS NOT FOR CONSTRUCTION</p>	
<p>SHEET: <b>C200</b></p>	

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### LEGEND

	PROPERTY LINE
	CENTER LINE
	EASEMENT LINE
	APPROXIMATE CIVIL LIMIT OF WORK LINE
	PROPOSED BUILDING WALL AND OVERHANG
	LANDSCAPE AREA
	BIORETENTION AREA
	CONCRETE WALK
	HEAVY DUTY CONCRETE PAVEMENT

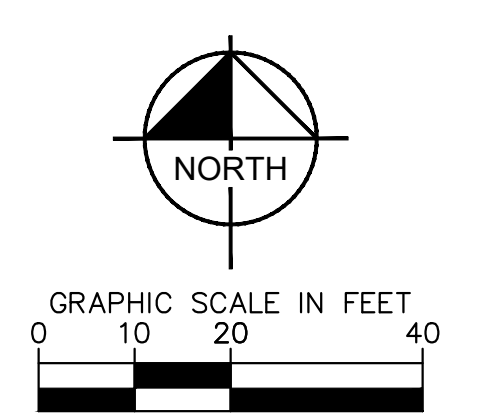
- ### NOTES
- ALL PARKING LOT CURB RADII ARE 3' OR 10' UNLESS OTHERWISE NOTED.
  - ALL AUTOMOBILE PARKING SPACES ARE 9' WIDE X 20' LONG AND VAN ACCESSIBLE SPACES ARE 12' WIDE X 20' LONG, UNLESS SHOWN OTHERWISE.
  - REFER TO ARCHITECTURAL PLANS FOR DIMENSIONS OF BUILDINGS.

### PARKING SUMMARY

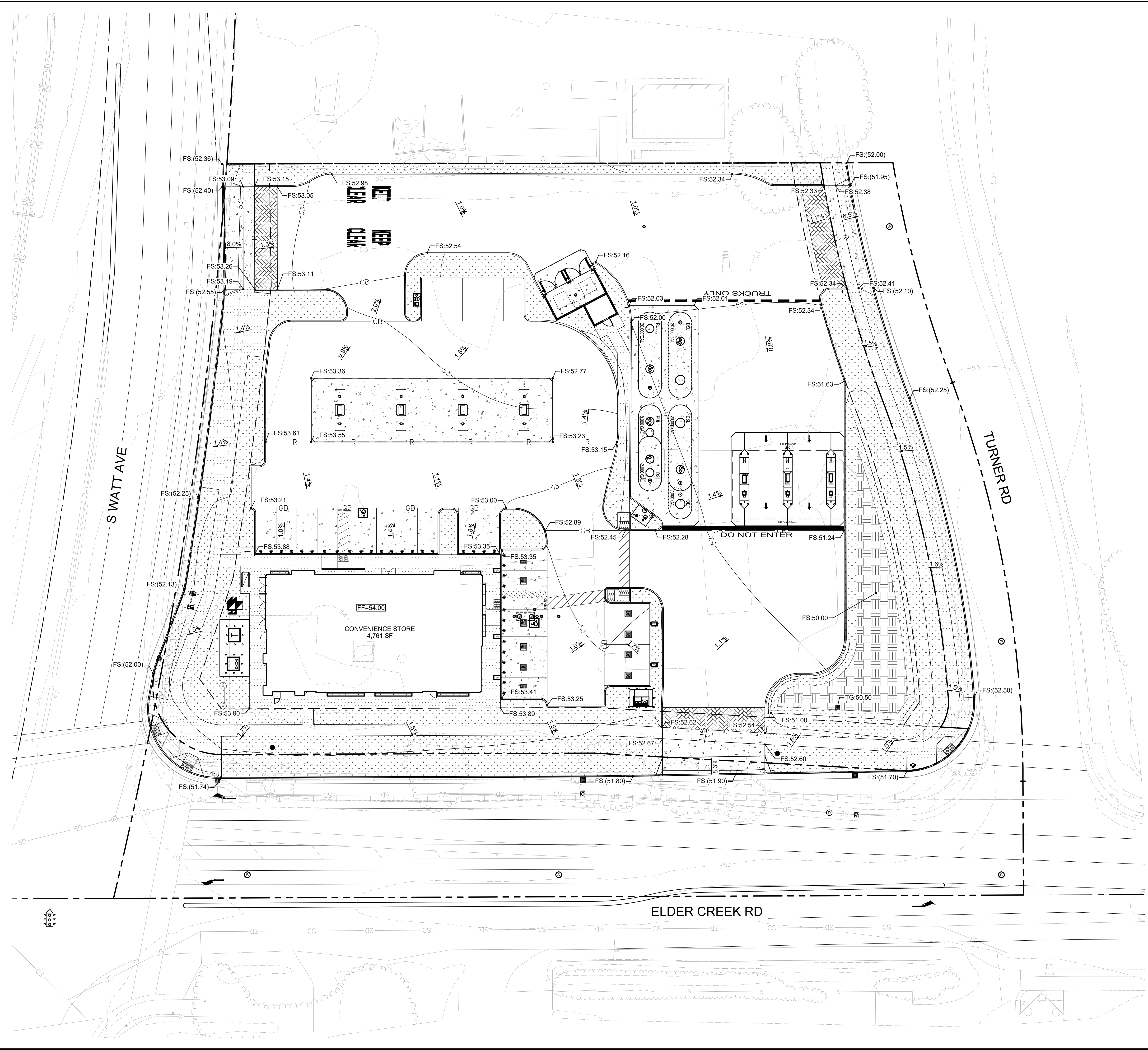
PARKING DISTRICT: SUBURBAN
USE: RETAIL STORE
<b>VEHICLE PARKING</b>
REQUIREMENT: 17400 SF GROSS BUILDING AREA
PARKING REQUIRED: 13
PARKING PROVIDED: 25 (INCLUDING 10 EVCS)
<b>SHORT-TERM BICYCLE PARKING</b>
REQUIREMENT: 115,000 SF GROSS BUILDING AREA; 2 MINIMUM
PARKING REQUIRED: 2
PARKING PROVIDED: 2
<b>LONG-TERM BICYCLE PARKING</b>
REQUIREMENT: 1172,000 SF GROSS BUILDING AREA; 2 MINIMUM
PARKING REQUIRED: 2
PARKING PROVIDED: 2

PARKING REQUIREMENTS BASED ON SACRAMENTO CITY CODE SECTION 17.608.030.

<p><b>7-ELEVEN, INC.</b> 3200 HACKBERRY ROAD, IRVING, TEXAS 75063</p> <p><b>7-ELEVEN #41217</b> NEC S WATT AVE &amp; ELDER CREEK RD SACRAMENTO, CA 95829</p>	<p style="text-align: center;"><b>SITE PLAN</b></p> <p>PROTO: 9350 CST CFL 2023-01</p>								
<p><b>Kimley-Horn</b></p> <p>© 2024 KIMLEY-HORN AND ASSOCIATES, INC. 4637 CHABOT DRIVE, SUITE 300, PLEASANTON, CA 94588 PHONE: 925-398-4840 FAX: 925-398-4849 WWW.KIMLEY-HORN.COM</p>									
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7-11 SITE/STORE #: 1045746/41217	SCALE: AS NOTED								
<p>PRELIMINARY DRAWINGS SERIAL DEVELOPMENT NOT FOR CONSTRUCTION</p>									
<p>SHEET: <b>C300</b></p>									



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**LEGEND**

	PROPERTY LINE
	CENTER LINE
	EASEMENT LINE
	APPROXIMATE CIVIL LIMIT OF WORK LINE
	PROPOSED BUILDING WALL AND OVERHANG
	PAVEMENT SAWCUT AND JOIN LINE
	EXISTING GROUND CONTOUR
	PROPOSED GROUND CONTOUR
	EXISTING SPOT ELEVATION
	PROPOSED SPOT ELEVATION
	EXISTING GROUND SLOPE
	PROPOSED GROUND SLOPE
	CONCRETE WALK
	HEAVY-DUTY CONCRETE PAVEMENT
	LANDSCAPE AREA
	BIORETENTION AREA

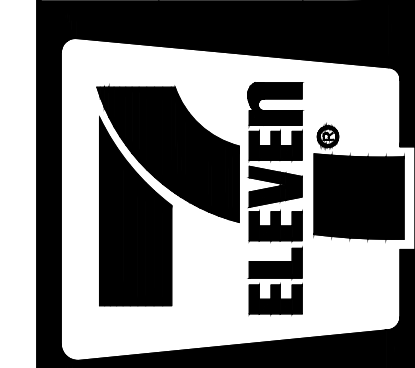
NO.	REVISIONS	DATE

PROTO: 9350 CST CFL 2023-01

7-ELEVEN, INC.  
3200 HACKBERRY ROAD, IRVING, TEXAS 75063

7-ELEVEN #41217  
NEC S WATT AVE & ELDER CREEK RD  
SACRAMENTO, CA 95829

**GRADING PLAN**



**Kimley-Horn**

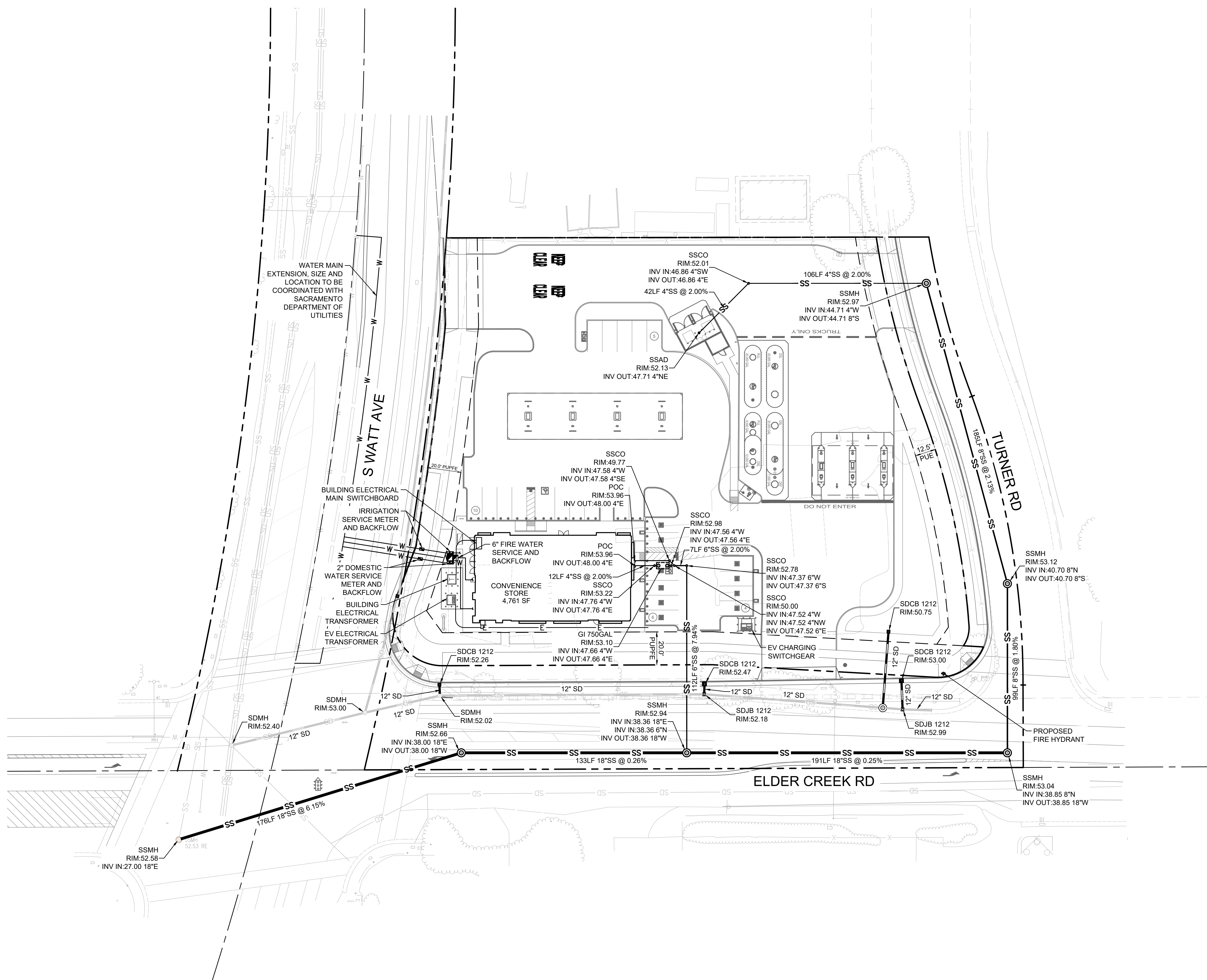
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7-11 SITE/STORE #: 1045746/41217	SCALE: AS NOTED		

PRELIMINARY DRAWINGS  
SEAL DEVELOPMENT  
NOT FOR CONSTRUCTION

SHEET: **C400**



### LEGEND

	PROPERTY LINE
	CENTER LINE
	EASEMENT LINE
	APPROXIMATE CIVIL LIMIT OF WORK
	PROPOSED STORM DRAIN PIPE
	STORM DRAIN INLET, MANHOLE, CLEAN OUT
	PROPOSED SANITARY SEWER PIPE
	SEWER MANHOLE, CLEAN OUT, AREA DRAIN
	PROPOSED WATER PIPE
	PROPOSED FIRE WATER PIPE
	WATER PIPE BENDS AND TEES
	WATER METER AND BACKFLOW PREVENTER
	FIRE HYDRANT, POST INDICATOR VALVE, FDC

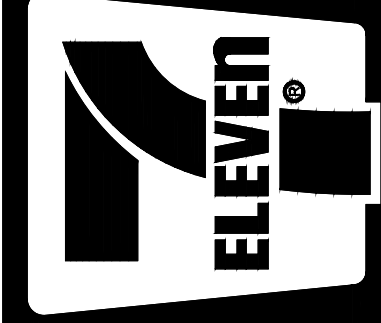
- ### UTILITY NOTES
- ALL UTILITY PIPE LENGTHS ARE APPROXIMATE AND SHOWN FOR REFERENCE ONLY. PIPE LENGTHS ARE NOT SHOWN FOR BIDDING OR ESTIMATING PURPOSES.
  - ALL DIMENSIONS ARE SHOWN FROM CENTER OF PIPE TO CENTER OF PIPE UNLESS OTHERWISE NOTED.

### EXISTING UTILITY NOTE

EXISTING UTILITIES ARE SHOWN ON THESE PLANS AS THEY ARE BELIEVED TO EXIST BASED ON AVAILABLE RECORDS BY OTHERS. THE OWNER AND ENGINEER DO NOT ACCEPT RESPONSIBILITY FOR THEIR ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTENCE, LOCATION, DEPTH, AND DIMENSION OF ALL UTILITIES PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UNDERGROUND SERVICE ALERT, POTHOLING, AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATIONS OF UTILITIES AT ALL PROPOSED UTILITY CROSSINGS, AREAS OF EXCAVATION, AND WHERE CONSTRUCTION MAY BE AFFECTED BY THE LOCATION OR DEPTH OF THE UTILITY. DISCREPANCIES OR POTENTIAL CONFLICTS WITH PROPOSED IMPROVEMENTS MUST BE REPORTED TO AND RESOLVED BY THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.

NO.	REVISIONS	DATE

7-ELEVEN, INC.  
 3200 HACKBERRY ROAD, IRVING, TEXAS 75063  
**7-ELEVEN #41217**  
 NEC S WATT AVE & ELDER CREEK RD  
 SACRAMENTO, CA 95829



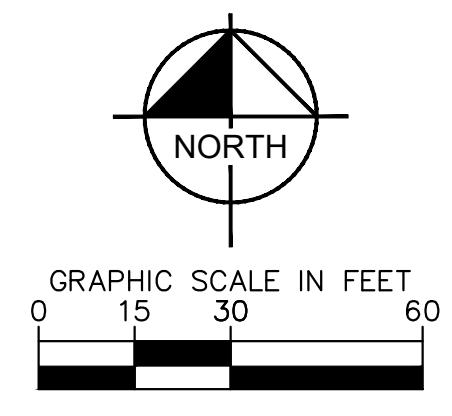
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 PHONE: 925-398-4840 FAX: 925-398-4849  
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CONSULTANT JOB #: 195098163	7-11 SITE/STORE #: 1045746/41217	DATE: 11/18/2024	SCALE: AS NOTED	DRAWN BY: JP	CHECKED BY: NM
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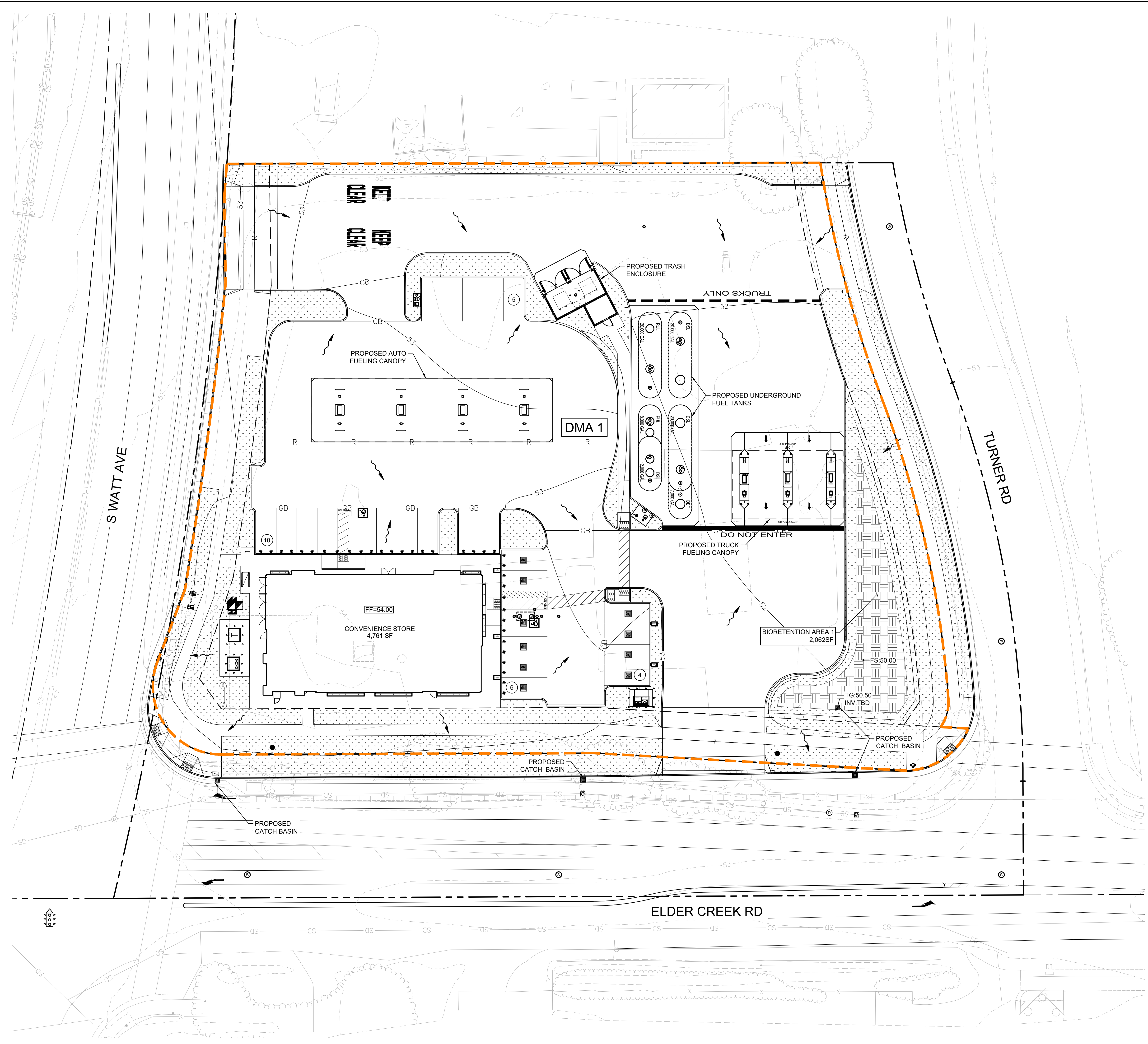
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SHEET:  
**C500**



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**LEGEND**

- PROPERTY LINE
- CENTER LINE
- EASEMENT LINE
- APPROXIMATE CIVIL LIMIT OF WORK
- DMA BOUNDARY
- SURFACE FLOW DIRECTION
- LANDSCAPE AREA
- BIORETENTION AREA

**ABBREVIATIONS**

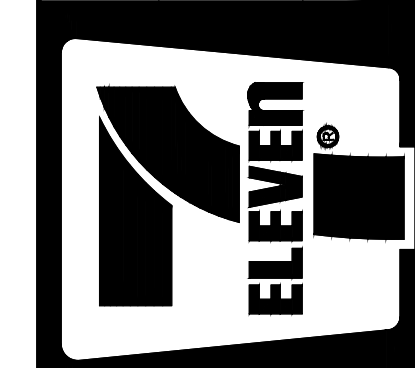
DMA - DRAINAGE MANAGEMENT AREA  
SD - STORM DRAIN

DMA	TOTAL AREA (AC)	EXISTING IMPERVIOUS (AC)	EXISTING PERVIOUS (AC)	PROPOSED IMPERVIOUS (AC)	PROPOSED PERVIOUS (AC)	TREATMENT MEASURE
1	1.83	0.32	1.51	1.37	0.46	BIORETENTION AREA 1
<b>TOTAL</b>	<b>1.83</b>	<b>0.32</b>	<b>1.51</b>	<b>1.37</b>	<b>0.46</b>	...

NO.	REVISIONS	DATE

7-ELEVEN, INC.  
3200 HACKBERRY ROAD, IRVING, TEXAS 75063  
7-ELEVEN #41217  
NEC S WATT AVE & ELDER CREEK RD  
SACRAMENTO, CA 95829

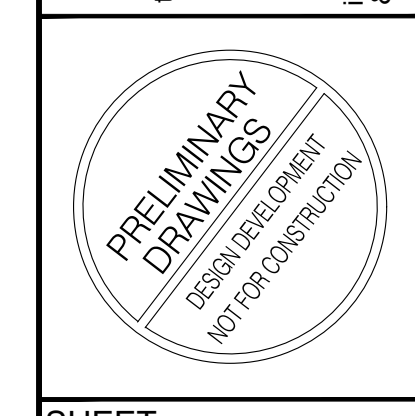
PROTO: 9350 CST CFL 2023-01



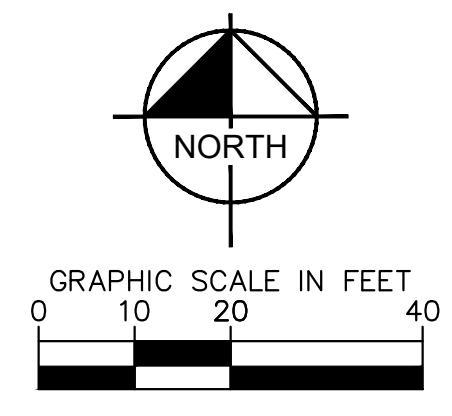
**Kimley-Horn**

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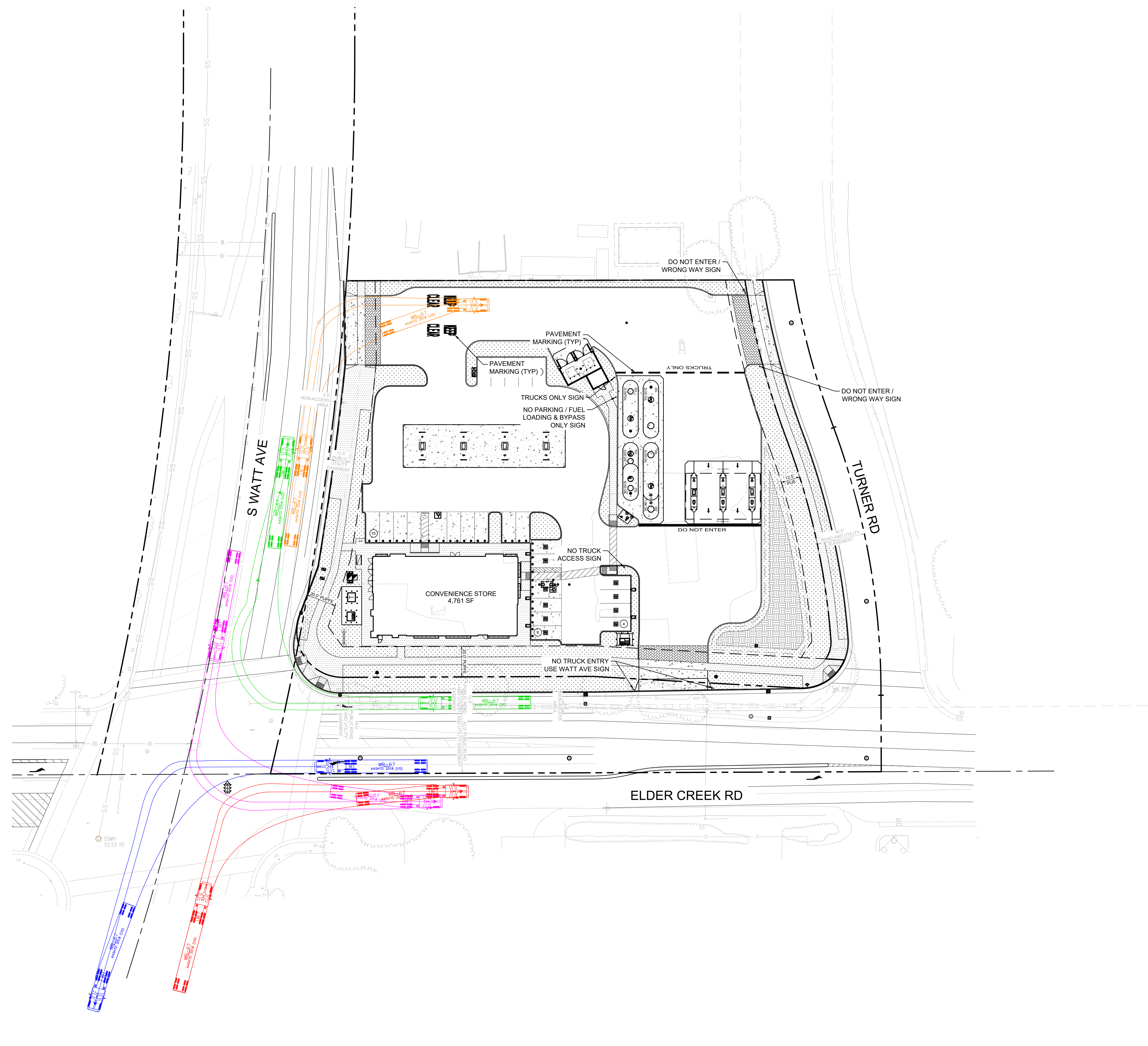
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7-11 SITE/STORE #: 1045746/41217  
DATE: 11/18/2024  
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DRAWN BY: JP  
CHECKED BY: NM



SHEET: **C600**

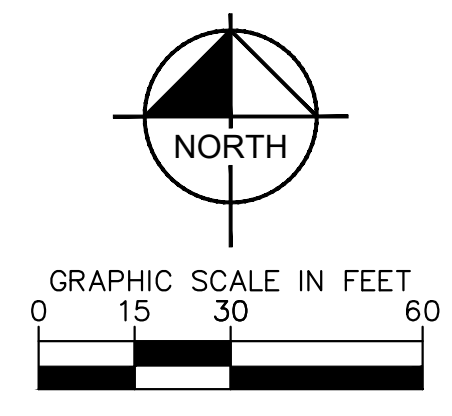


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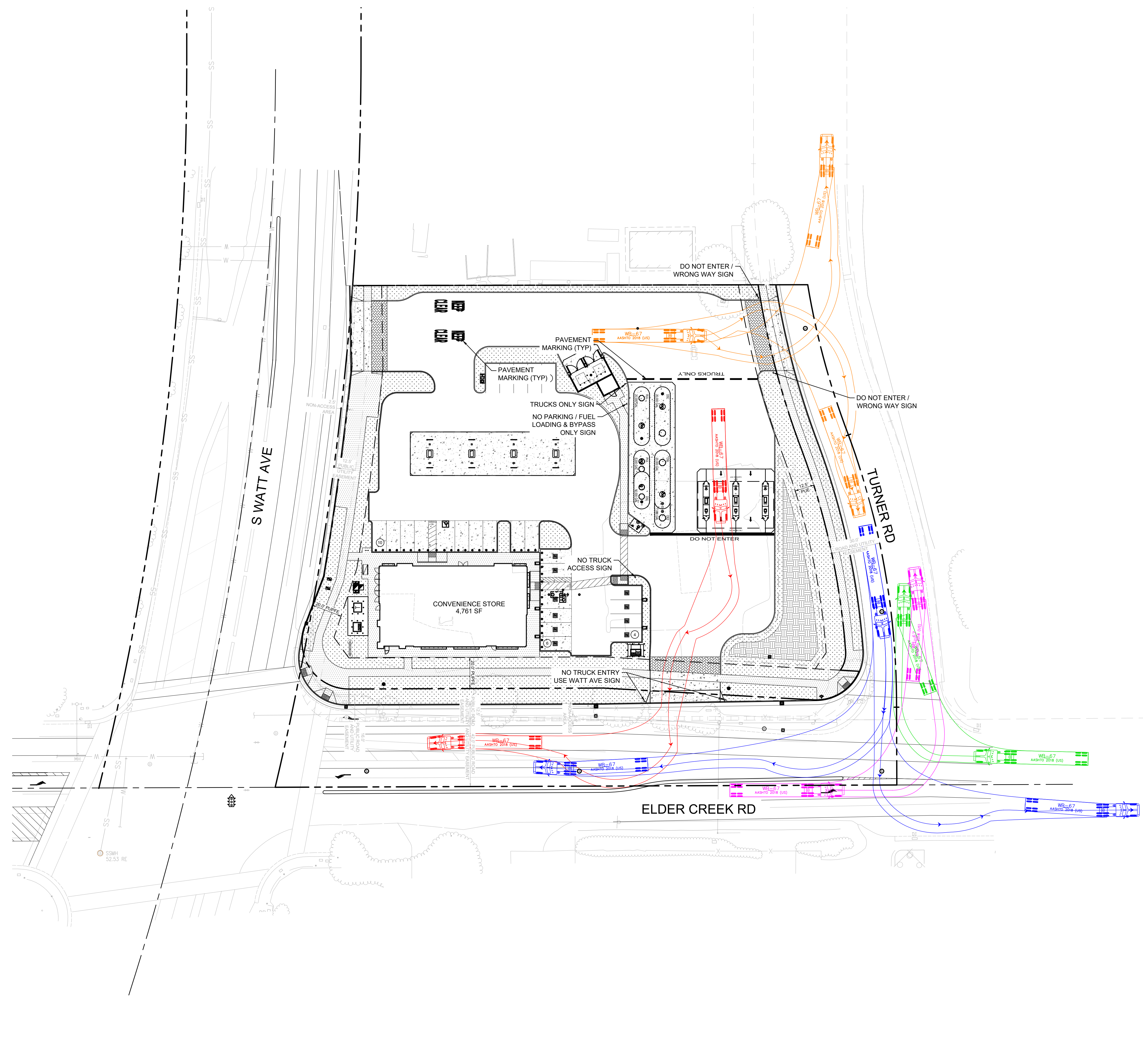
**LEGEND**

	PROPERTY LINE
	CENTER LINE
	EASEMENT LINE
	APPROXIMATE CIVIL LIMIT OF WORK LINE
	PROPOSED BUILDING WALL AND OVERHANG
	LANDSCAPE AREA
	BIORETENTION AREA
	CONCRETE WALK
	HEAVY DUTY CONCRETE PAVEMENT



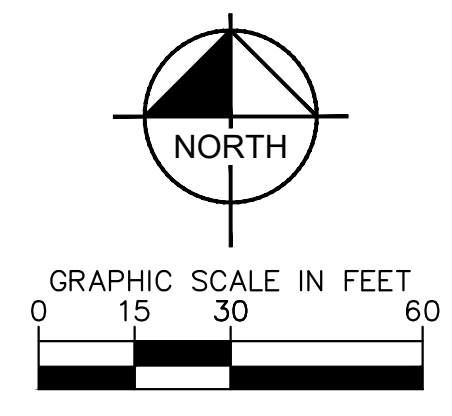
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SHEET: <b>C700</b>							
7-ELEVEN, INC. 3200 HACKBERRY ROAD, IRVING, TEXAS 75063 <b>7-ELEVEN #41217</b> NEC S WATT AVE & ELDER CREEK RD SACRAMENTO, CA 95829 <b>TURNING MOVEMENT PLAN</b>							
PROTO: 9350 CST CFL 2023-01							
REVISIONS							
NO. DATE							

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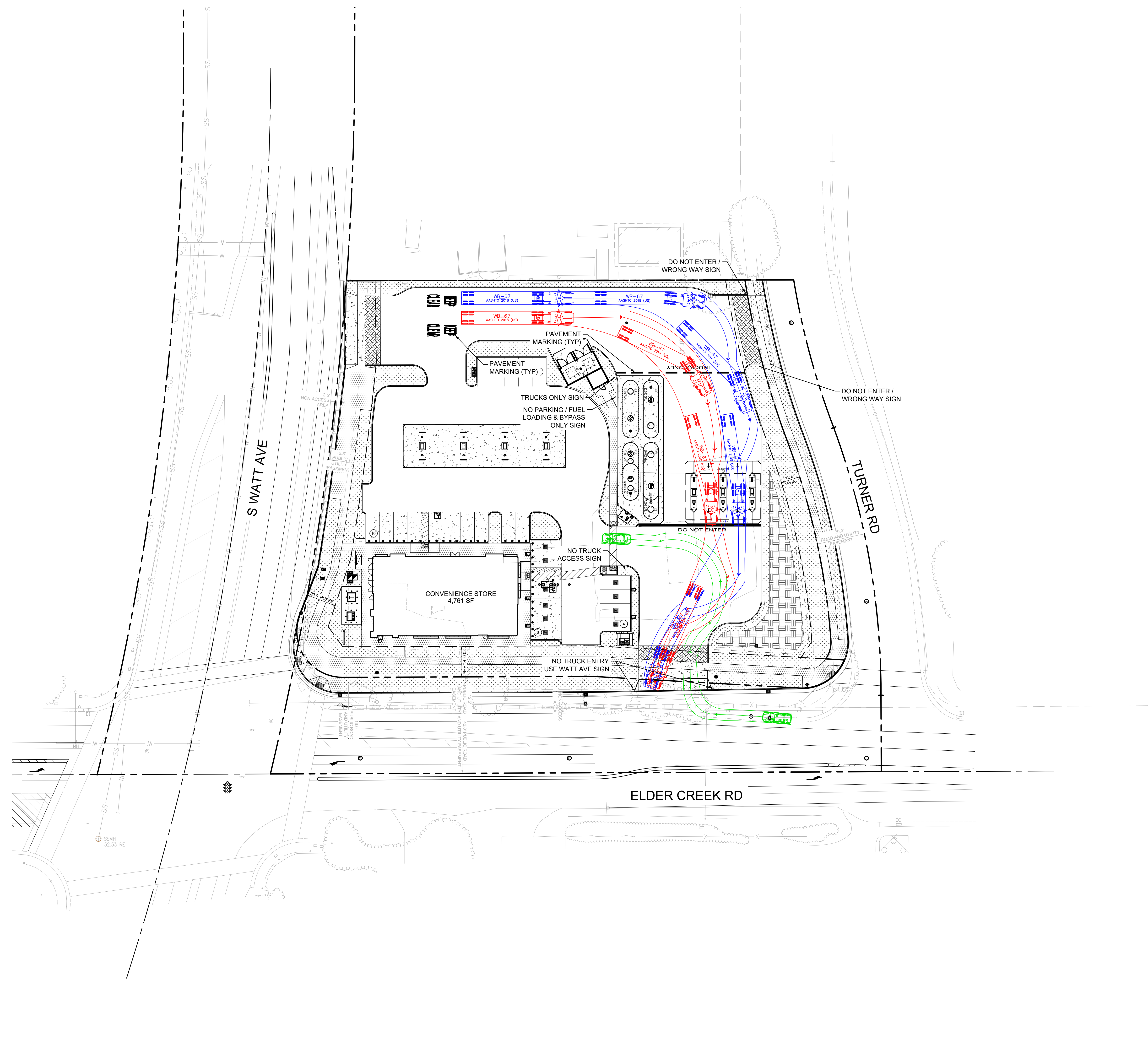
**LEGEND**

	PROPERTY LINE
	CENTER LINE
	EASEMENT LINE
	APPROXIMATE CIVIL LIMIT OF WORK LINE
	PROPOSED BUILDING WALL AND OVERHANG
	LANDSCAPE AREA
	BIORETENTION AREA
	CONCRETE WALK
	HEAVY DUTY CONCRETE PAVEMENT



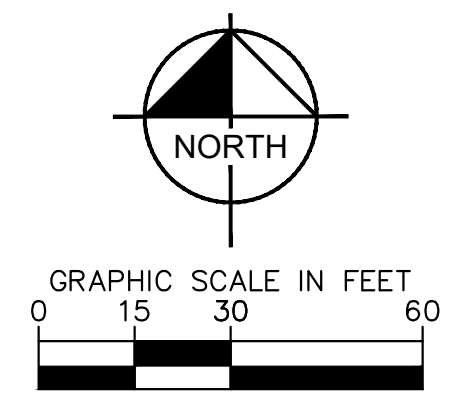
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<p>PRELIMINARY DRAWINGS SERVO DEVELOPMENT NOT FOR CONSTRUCTION</p>							
<p>SHEET: <b>C701</b></p>							
<p>PROTO: 9350 CST CFL 2023-01</p>							

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**LEGEND**

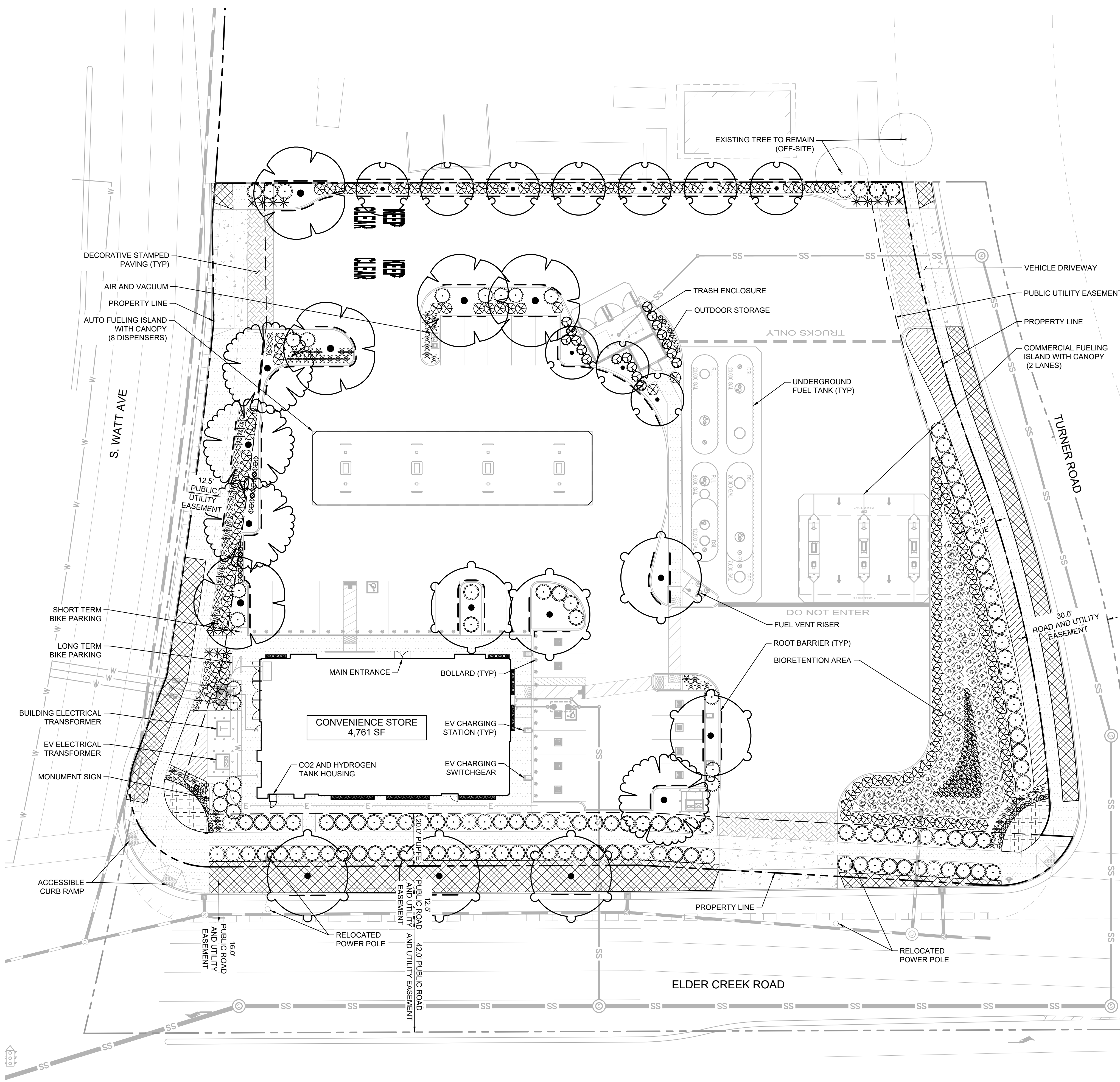
	PROPERTY LINE
	CENTER LINE
	EASEMENT LINE
	APPROXIMATE CIVIL LIMIT OF WORK LINE
	PROPOSED BUILDING WALL AND OVERHANG
	LANDSCAPE AREA
	BIORETENTION AREA
	CONCRETE WALK
	HEAVY DUTY CONCRETE PAVEMENT



<p><b>7-ELEVEN, INC.</b>          3200 HACKBERRY ROAD, IRVING, TEXAS 75063  <b>7-ELEVEN #41217</b>          NEC S WATT AVE &amp; ELDER CREEK RD          SACRAMENTO, CA 95829</p>							
<p><b>TURNING MOVEMENT PLAN</b></p>							
<p>PROTO: 9350 CST CFL 2023-01</p>							
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<p><b>PRELIMINARY DRAWINGS</b>                  NOT FOR CONSTRUCTION</p>							
<p>SHEET: <b>C702</b></p>							



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**GENERAL LANDSCAPE NOTES**

THE SELECTION OF PLANT MATERIAL IS BASED ON CLIMATIC, AESTHETIC, AND MAINTENANCE CONSIDERATIONS. ALL PLANTING AREAS SHALL BE PREPARED WITH APPROPRIATE SOIL AMENDMENTS, FERTILIZERS AND APPROPRIATE SUPPLEMENTS BASED UPON A SOILS REPORT FROM AN AGRICULTURAL SUITABILITY SOIL SAMPLE TAKEN FROM THE SITE. WOOD BARK MULCH SHALL FILL IN BETWEEN SHRUBS TO SHIELD THE SOIL FROM THE SUN, EVAPOTRANSPIRATION, AND RUN-OFF. ALL SHRUB BEDS SHALL BE MULCHED TO A 3" DEPTH TO HELP CONSERVE WATER, LOWER SOIL TEMPERATURE, AND REDUCE WEED GROWTH. THE SHRUBS SHALL BE ALLOWED TO GROW IN THEIR NATURAL FORMS. ALL LANDSCAPE IMPROVEMENTS SHALL FOLLOW THE GUIDELINES SET FORTH BY THE CITY OF SACRAMENTO MUNICIPAL CODE.

**GENERAL IRRIGATION NOTES**

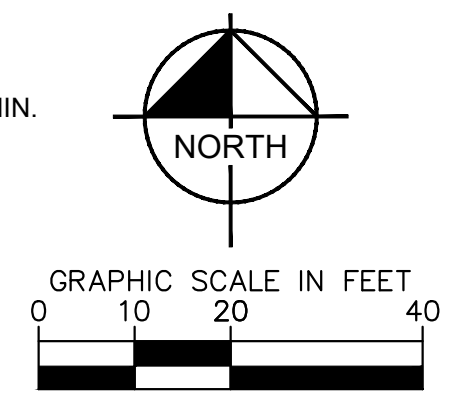
AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED TO PROVIDE 100% COVERAGE FOR ALL PLANTING AREAS SHOWN ON THE PLAN. THE WATER SUPPLY FOR THIS SITE IS A POTABLE WATER CONNECTION AND A DEDICATED IRRIGATION METER WILL BE PROVIDED. LOW VOLUME EQUIPMENT SHALL PROVIDE SUFFICIENT WATER FOR PLANT GROWTH WITH NO WATER LOSS DUE TO WATER CONTROLLERS, AND OTHER NECESSARY IRRIGATION EQUIPMENT. ALL SUBSURFACE DRIPLINE SHALL BE ADEQUATELY FILTERED AND REGULATED PER THE MANUFACTURER'S RECOMMENDED DESIGN PARAMETERS. ALL IRRIGATION IMPROVEMENTS SHALL FOLLOW THE GUIDELINES SET FORTH BY THE CITY OF SACRAMENTO MUNICIPAL CODE.

I HAVE COMPLIED WITH THE CRITERIA OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE AND IRRIGATION DESIGN PLAN.

MATHEW J. MORGAN, LLA 6256

**CONCEPT PLANT LEGEND**

SYMBOL	QTY	BOTANICAL / COMMON NAME	CONT.
<b>TREES</b>			
	2	EXISTING TREE TO REMAIN / PROTECT IN PLACE	N/A
	10	LAGERSTROEMIA INDICA 'CHEROKEE' / CHEROKEE GRAPE MYRTLE	24" BOX
	4	PISTACIA CHINENSIS / CHINESE PISTACHE	24" BOX
	5	QUERCUS AGRIFOLIA / COAST LIVE OAK	24" BOX
	7	QUERCUS ILEX / HOLLY OAK	24" BOX
<b>SHRUBS</b>			
	19	CALLISTEMON VIMINALIS 'LITTLE JOHN' / LITTLE JOHN WEeping BOTTLEBRUSH	5 GAL.
	46	DIETES IRIDIODES / FORTNIGHT LILY	5 GAL.
	120	ELAEAGNUS X EBBINGE 'GILT EDGE' / GILT EDGE SILVERBERRY	5 GAL.
	82	JUNCUS PATENS / CALIFORNIA GRAY RUSH	5 GAL.
	18	JUNIPERUS SCOPULORUM 'SKYROCKET' / SKYROCKET JUNIPER	5 GAL.
	77	LAVANDULA ANGUSTIFOLIA 'THUMBELINA LEIGH' / THUMBELINA LEIGH ENGLISH LAVENDER	5 GAL.
	38	MUHLENBERGIA CAPILLARIS / PINK MUHLY GRASS	5 GAL.
	120	MUHLENBERGIA RIGENS / DEER GRASS	5 GAL.
	15	PHORMIUM X 'DAZZLER' / DAZZLER NEW ZEALAND FLAX	5 GAL.
	167	RHAPHIOLEPIS UMBELLATA 'MINOR' / DWARF YEDDA HAWTHORN	5 GAL.
	64	TULBAGHIA VIOLACEA 'TRICOLOR' / TRICOLOR SOCIETY GARLIC	5 GAL.
<b>GROUND COVERS</b>			
	29	ARCTOSTAPHYLOS X 'SUNSET' / SUNSET MANZANITA	1 GAL.
	296	LIPPIA NODIFLORA 'KURAPIA S1' / KURAPIA®	1 GAL.
	93	ROSMARINUS OFFICINALIS 'HUNTINGTON BLUE' / HUNTINGTON BLUE ROSEMARY	1 GAL.
<b>MATERIALS</b>			
	820 LF	ROOT CONTROL BARRIER	
NOTE: TO BE INSTALLED AT ALL LOCATIONS WHERE TREES ARE WITHIN 5' MIN. OF HARDSCAPE			



NO.	REVISIONS	DATE

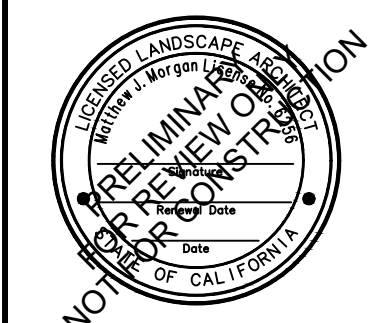
7-ELEVEN, INC.  
3200 HACKBERRY ROAD, IRVING, TEXAS 75063  
7-ELEVEN #41217  
NEC S WATT AVE & ELDER CREEK RD  
SACRAMENTO, CA 95829  
LANDSCAPE PLAN



**Kimley-Horn**  
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4637 CHABOT DRIVE, SUITE 300, PLEASANTON, CA 94588  
PHONE: 925-398-4840 FAX: 925-398-4849  
WWW.KIMLEY-HORN.COM

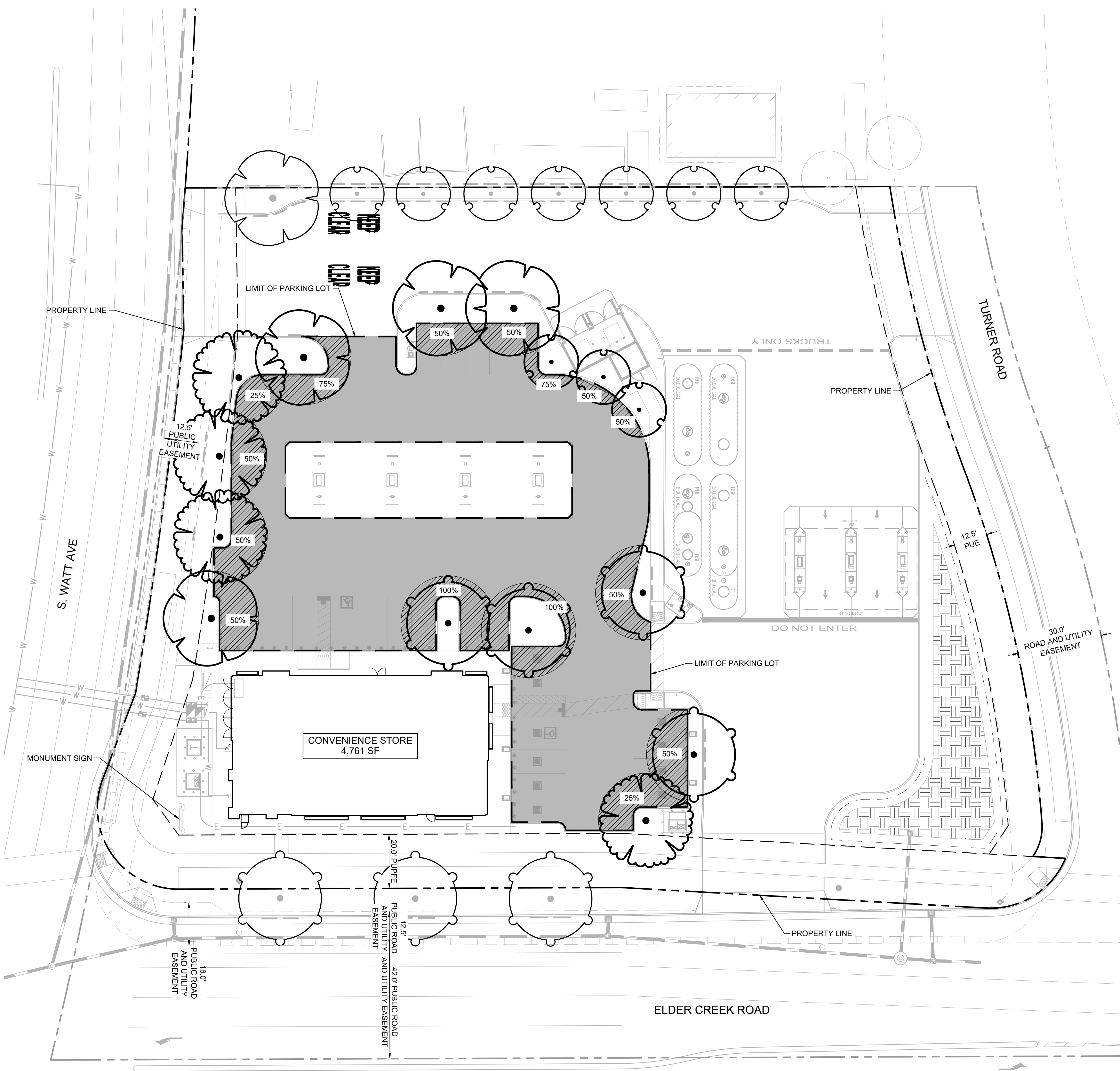
CONSULTANT JOB #:  
190908163  
7-11 SITE/STORE #:  
1045746/41217  
DATE: 11/18/2024  
SCALE: AS NOTED  
DRAWN BY: AS  
CHECKED BY: MT

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SHEET:  
**L100**

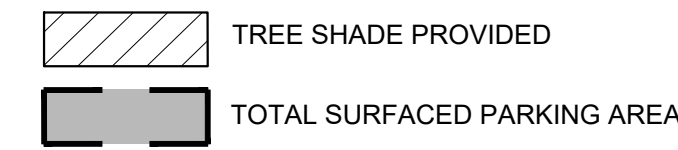
K:\BAY\_LDEV\7-Eleven\watt & elder creek (sac county) - 41217-1045746\03 CADD\plansheets\entitlements\L-3\ShadeRequirement.dwg Plotter:11/18/2024



**GENERAL SHADE REQUIREMENT NOTES**

1. FUEL CANOPY TO BE USED IN SHADE REQUIREMENT CALCULATIONS.
2. DESIGN IS INTENDED TO MEET SACRAMENTO'S SHADING REQUIREMENT GUIDELINES.
3. REFER TO SHEET L100 FOR CONCEPT LANDSCAPE PLAN

**PARKING TREE SHADE**



**TREE SHADE LEGEND (PER CITY OF SACRAMENTO)**

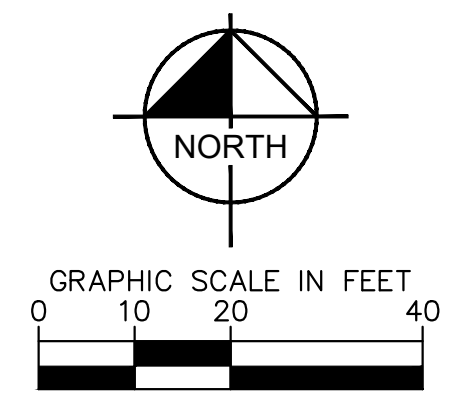
BOTANICAL NAME / COMMON NAME	QTY @ FULL SHADE/SQ. FT.	QTY @ 3/4 SHADE/SQ. FT.	QTY @ 1/2 SHADE/SQ. FT.	QTY @ 1/4 SHADE/SQ. FT.	TOTAL (SQ. FT.)
LAGERSTROEMIA INDICA 'CHEROKEE' / CHEROKEE CREPE MYRTLE		235	314	0	549 SQ FT
PISTACIA CHINENSIS / CHINESE PISTACHE			962	480	1442 SQ FT
QUERCUS AGRIFOLIA / COAST LIVE OAK		721	1443		2164 SQ FT
QUERCUS ILEX / HOLLY OAK	1924		962		2886 SQ FT

SURFACED AREA:	PARKING LOT	17023 SQ FT	TOTAL SURFACED AREA =	19986 SQ FT
	COVERED STALLS	2963 SQ FT	SHADE AREA REQUIRED =	9993 SQ FT
			TOTAL AUXILIARY SHADE =	2963 SQ FT
			TOTAL SHADE PROVIDED =	10004 SQ FT
			PERCENT SHADE =	50.06%

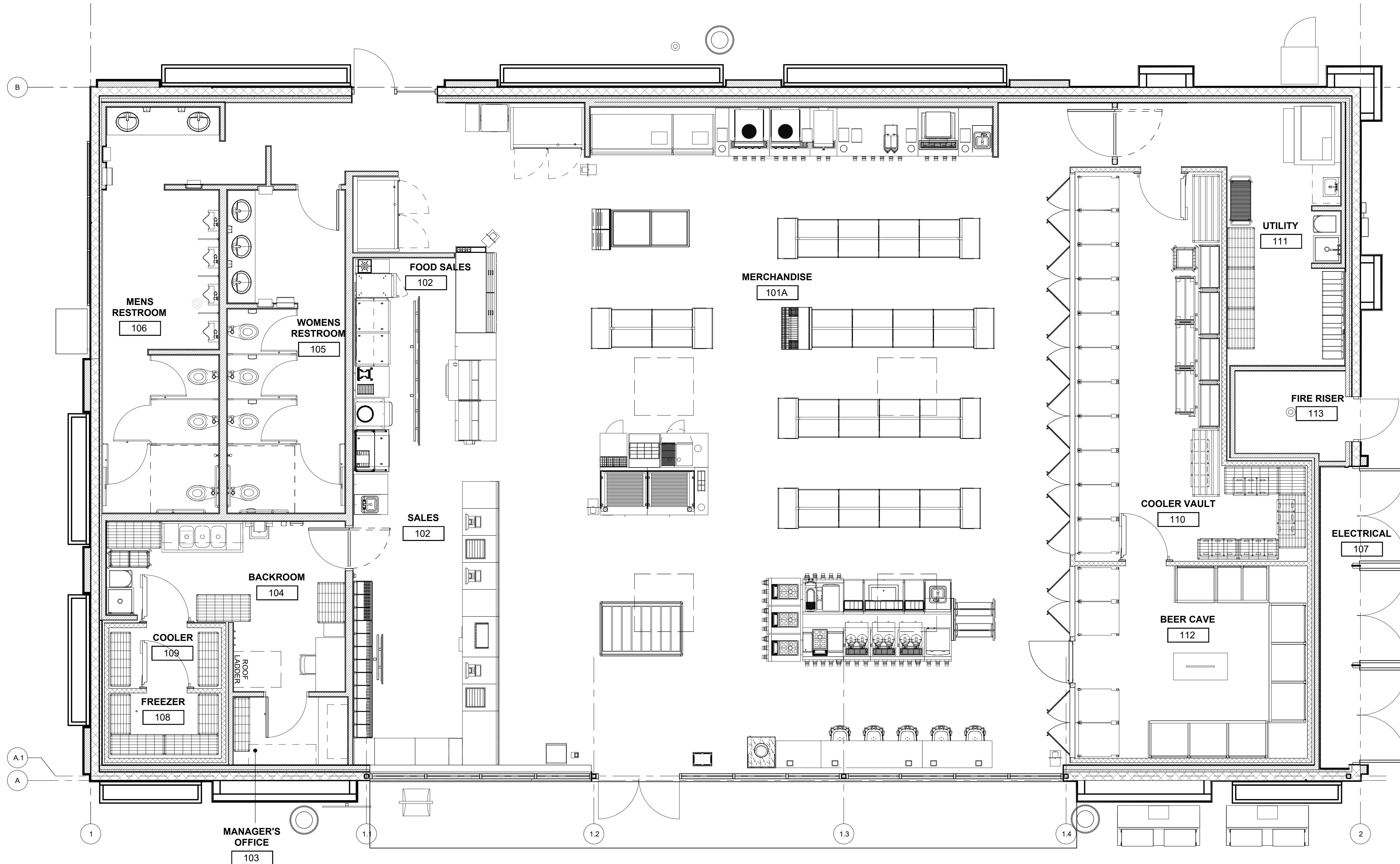
NOTE: ACCESS AISLES UTILIZED FOR TRUCK MANEUVERING AND FUELING ARE EXCLUDED FROM THE TOTAL SURFACE AREA AND OVERALL PERCENTAGE OF SHADE.

**TREE LEGEND (REFER TO SHEET L100 FOR FULL SCHEDULE)**

SYMBOL	QTY	BOTANICAL / COMMON NAME
<b>TREES</b>		
	2	EXISTING TREE TO REMAIN / PROTECT IN PLACE
	10	LAGERSTROEMIA INDICA 'CHEROKEE' / CHEROKEE CRAPE MYRTLE
	4	PISTACIA CHINENSIS / CHINESE PISTACHE
	5	QUERCUS AGRIFOLIA / COAST LIVE OAK
	7	QUERCUS ILEX / HOLLY OAK



<p>7-ELEVEN, INC.                  3200 HACKBERRY ROAD, IRVING, TEXAS 75063                  7-ELEVEN #41217                  NEC S WATT AVE &amp; ELDER CREEK RD                  SACRAMENTO, CA 95829</p> <p style="text-align: right;"><b>TREE SHADING PLAN</b></p>								
<p><b>Kimley-Horn</b></p> <p>© 2024 KIMLEY-HORN AND ASSOCIATES, INC.                  4637 CHABOT DRIVE, SUITE 300, PLEASANTON, CA 94588                  PHONE: 925-398-4840 FAX: 925-398-4849                  WWW.KIMLEY-HORN.COM</p>								
CONSULTANT JOB #: 195098163	7-11 SITE/STORE #: 1045746/41217	DATE: 11/18/2024	SCALE: AS NOTED	DRAWN BY: AS	CHECKED BY: MT	DOCUMENTS PREPARED BY: Kimley-Horn & Associates, Inc. is authorized to use the information contained herein for the specific project and specific use for which they are intended. Any extension of use by any other party, without the expressed, written consent of Kimley-Horn & Associates, Inc. is prohibited. Kimley-Horn & Associates, Inc. is not responsible for any errors or omissions in any way other than that specifically intended, user will hold Kimley-Horn & Associates, Inc. harmless from all claims and losses.	NOTED 	SHEET: <p style="text-align: center; font-size: 24pt;"><b>L200</b></p>



1 FLOOR PLAN  
1/4" = 1'-0"



41217 - 1045746 - SACRAMENTO, CA - 9350 CST CFL

SALES SECTIONS	HEIGHT	QTY	STORAGE	LF	EQUIPMENT	QTY	OCCUPANCY	WALL TYPE LEGEND	SPECIFICS
T-UNIT	54"	28	4-TIER DRY SHELVING	31'	VAULT DOORS	11	MERCHANDISE 2113 SF / 60 = 36 PEOPLE	EXTERIOR WALL	APPROVED: YES <input type="checkbox"/>   NO <input checked="" type="checkbox"/>
END CAP	54"	07	6-TIER DRY SHELVING	08'	BEER CAVE DOORS	4	QUEUING 45 SF / 5 = 09 PEOPLE	NEW WALL FULL HEIGHT	APPROVAL DATE: XX/XX/XXXX
END CAP w/ 6" EXTENDER	54"	04	COOLER STORAGE	08'	LOW TEMP DOORS	2	SEATING 84 SF / 15 = 06 PEOPLE	NEW WALL PARTIAL HEIGHT	7-11 DESIGN MANAGER: MICHELLE DUVALL
END CAP 24" W w/ 6" EXTENDER	54"	01	FREEZER STORAGE	14'	SLURPEE	8 BARRELS	KITCHEN 300 SF / 200 = 02 PEOPLE	NEW COOLER WALL	SHELL CONSTRUCTION: CMU <input checked="" type="checkbox"/>   CFS/LGMF <input type="checkbox"/>   SIPS <input type="checkbox"/>   OTHER _____
FritoLay END CAP	54"	01	OVERHEAD STORAGE	18'	POST MIX	40 FLAVORS	STORAGE/BOH 829 SF / 300 = 03 PEOPLE	NEW COLUMN	BUILDING SIZE: 4853 SF
WINE FIXTURE	54"	01			ROLLER GRILL	2 SELF SERVE	OFFICE 44 SF / 100 = 01 PEOPLE		GAS <input checked="" type="checkbox"/>   BEER <input checked="" type="checkbox"/>   WINE <input checked="" type="checkbox"/>   LIQUOR <input type="checkbox"/>
LOW WALL	36"	00			SANDWICH CASE	9' LF	SALES 398 SF / 60 = 07 PEOPLE		
HIGH WALL	72"	00			BAKERY CASE	1 LARGE	RESTROOM 552 SF / 0 = 00 PEOPLE		
TOTAL SALES SECTIONS		42			NOVELTY CASE	1 LARGE	TOTAL 64 PEOPLE		
					ICE MERCHANDISER	INT: 2 / EXT: 4	OCCUPANCY LOAD (>49) = ## TRAVEL DISTANCE (<200) = ##* COMMON PATH OF TRAVEL (<75) = ##* RESTROOMS REQUIRED = 2 EXITS REQUIRED = 2		

SHEET INDEX

SHEET NAME	NUMBER
PRELIMINARY FLOOR PLAN	P1.0
DUMPSTER ENCLOSURE ELEVATIONS	P2.0
DIMENSION FLOOR PLAN	P3.0
ROOF PLAN	P4.0
EXTERIOR ELEVATIONS	P5.0
FUEL & DIESEL CANOPY ELEVATIONS	P6.0

7-ELEVEN, INC.  
3200 HACKBERRY ROAD, IRVING, TX 75063  
7-ELEVEN 9350 CST  
NE CORNER OF S WATT AVE AND ELDER CREEK RD.  
SACRAMENTO, CA 95829  
PRELIMINARY FLOOR PLAN

7-ELEVEN

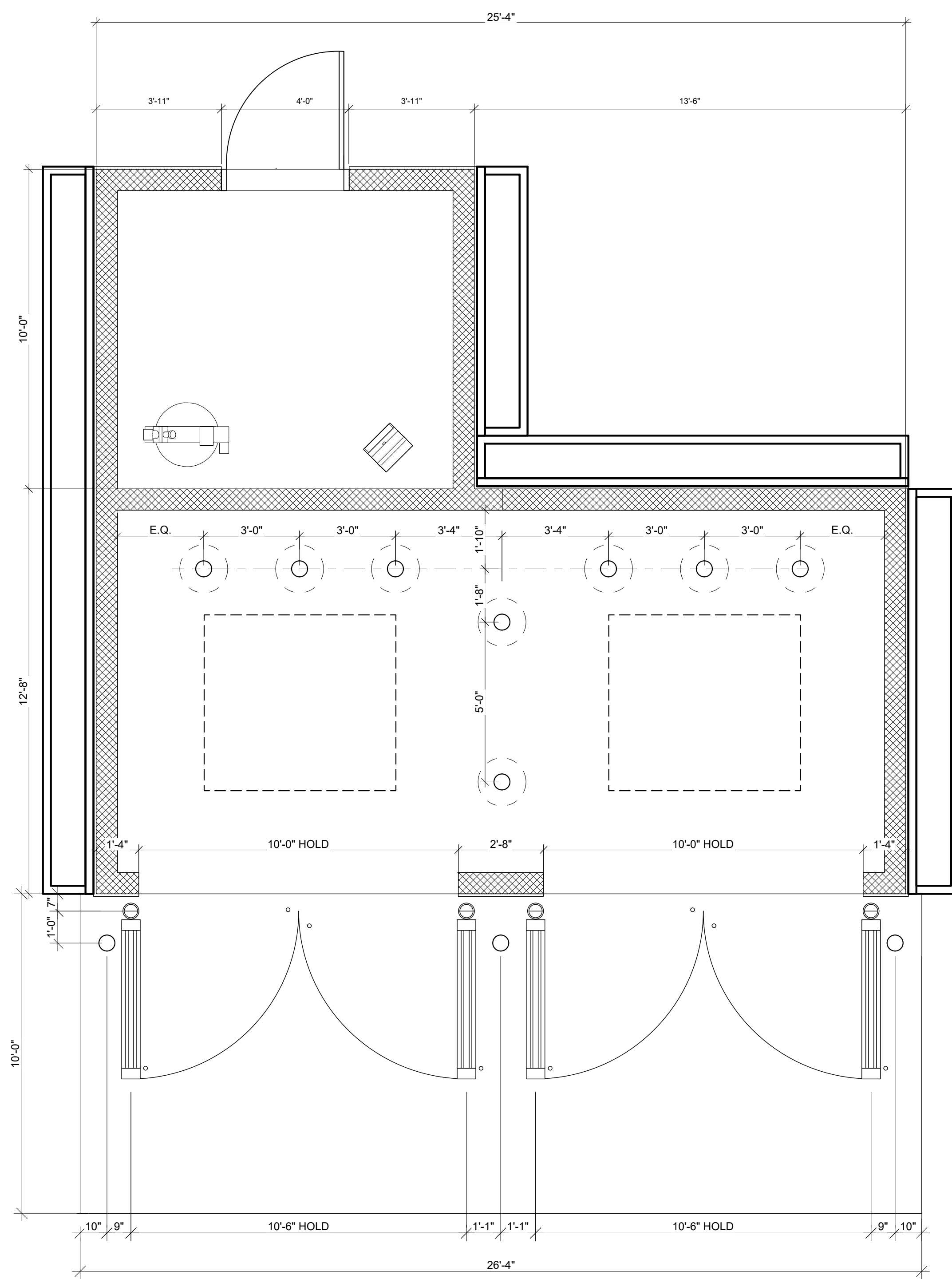
THE DIMENSION GROUP  
ARCHITECTURE-CIVIL-ENGINEERING-INTERIOR-ENGINEERING  
TEL: 714-844-8400 WWW.DIMENSIONGROUP.COM

Job#: C23-186  
Scale: AS NOTED  
Date: 11/06/2024  
Drawn By: SM  
Checked By: RW

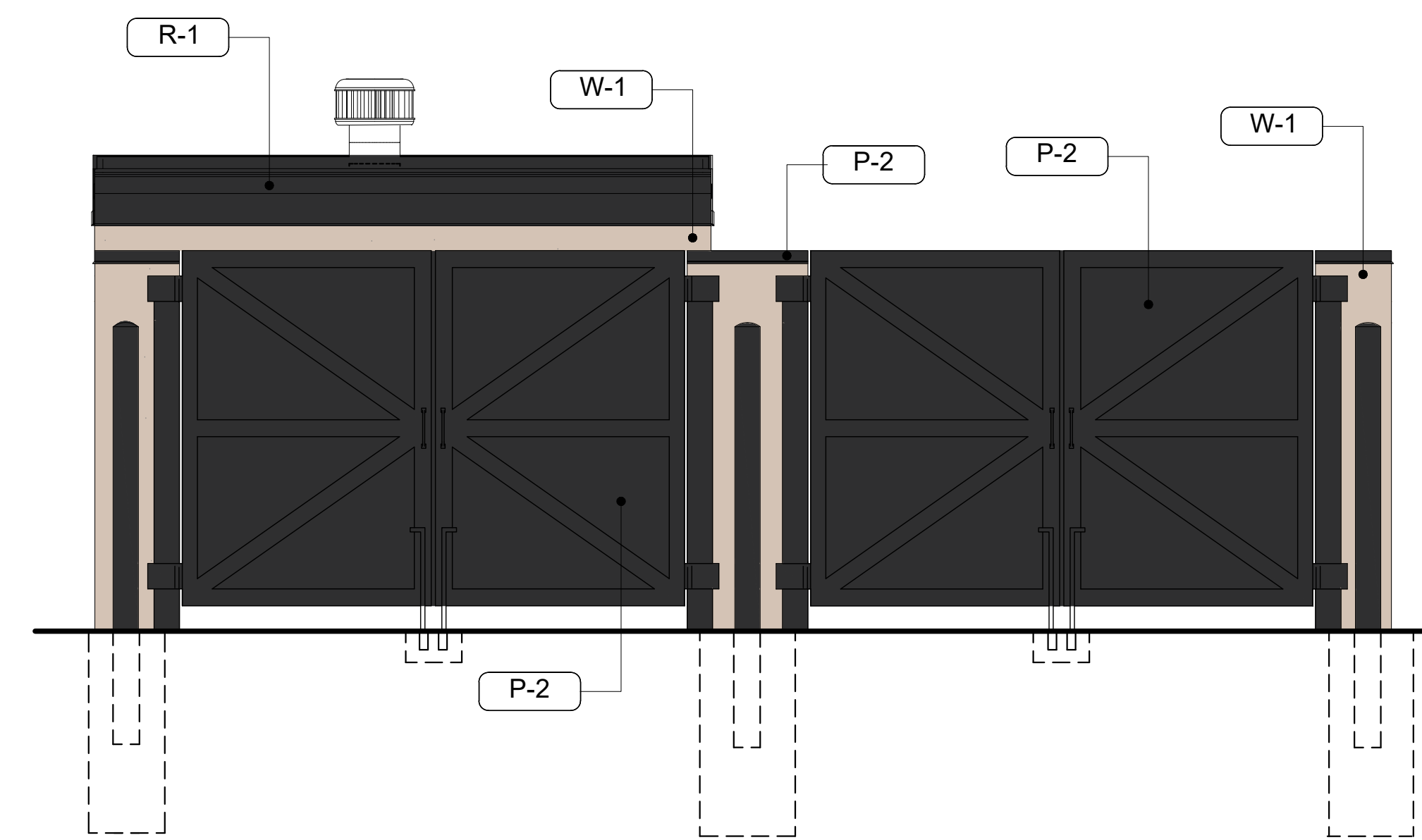
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PRELIMINARY DRAWINGS  
DO NOT CONSIDER FOR CONSTRUCTION

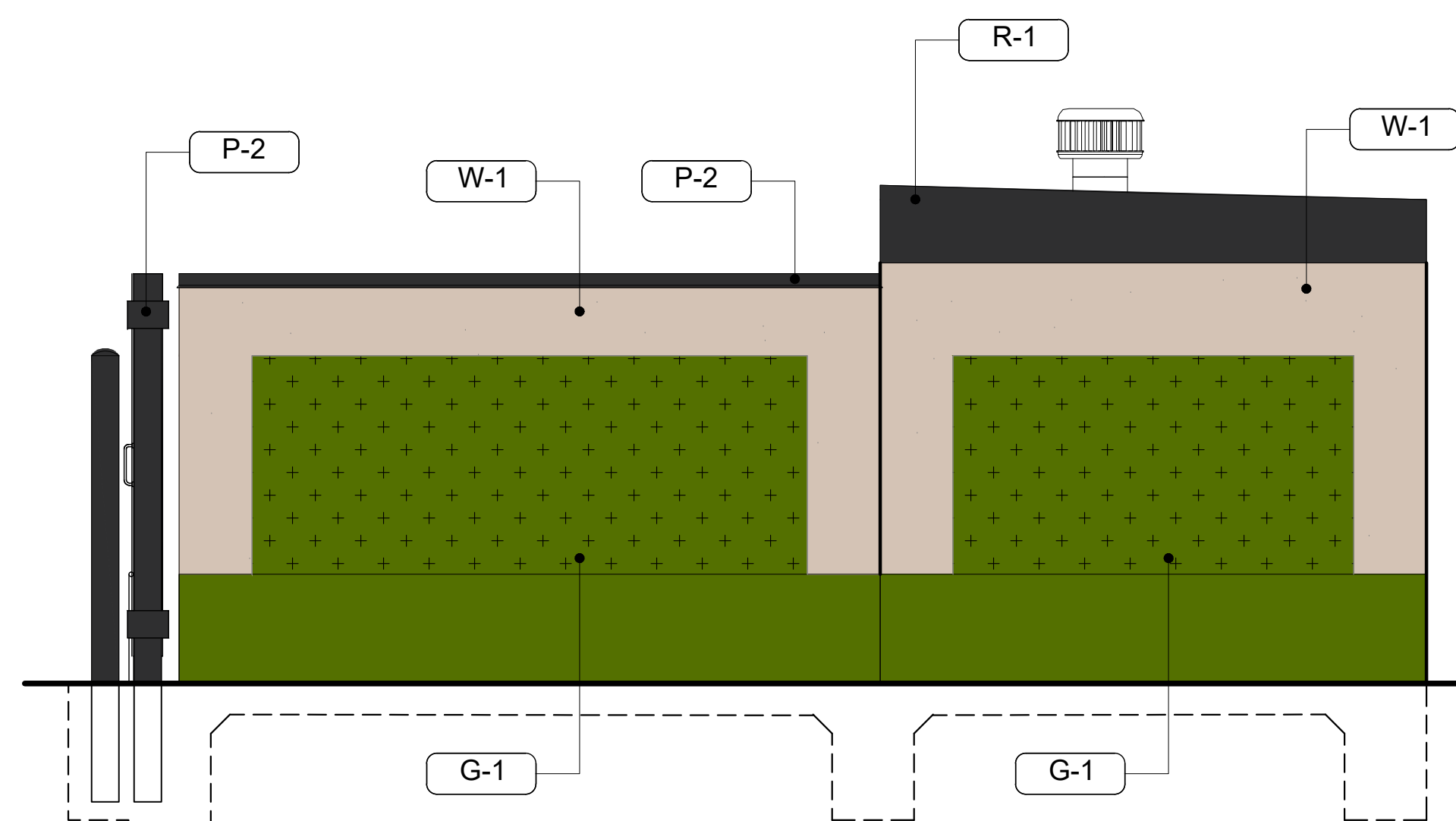
SHEET: P1.0  
9350 CST



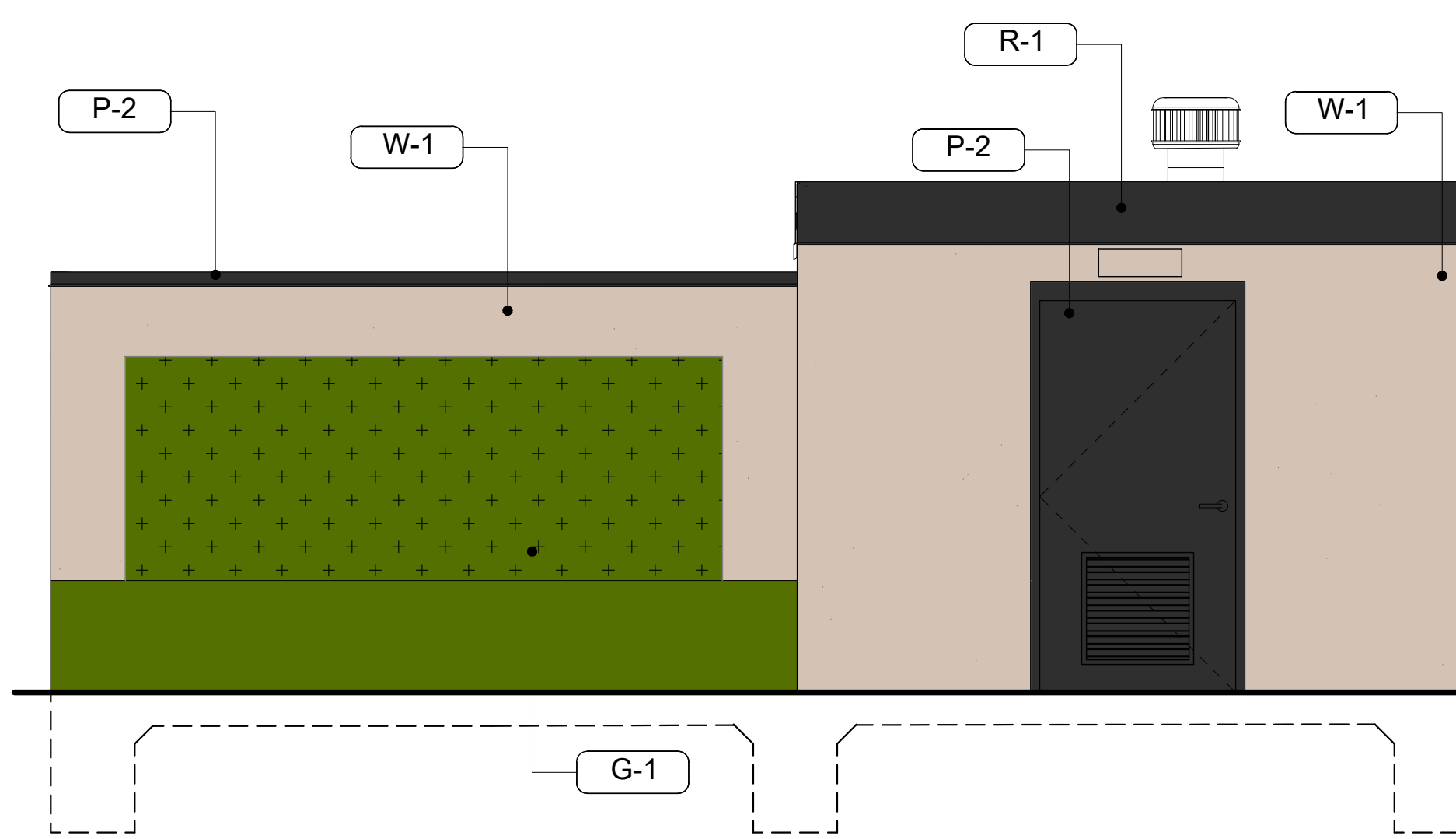
1 DUMPSTER ENCLOSURE PLAN  
3/8" = 1'-0"



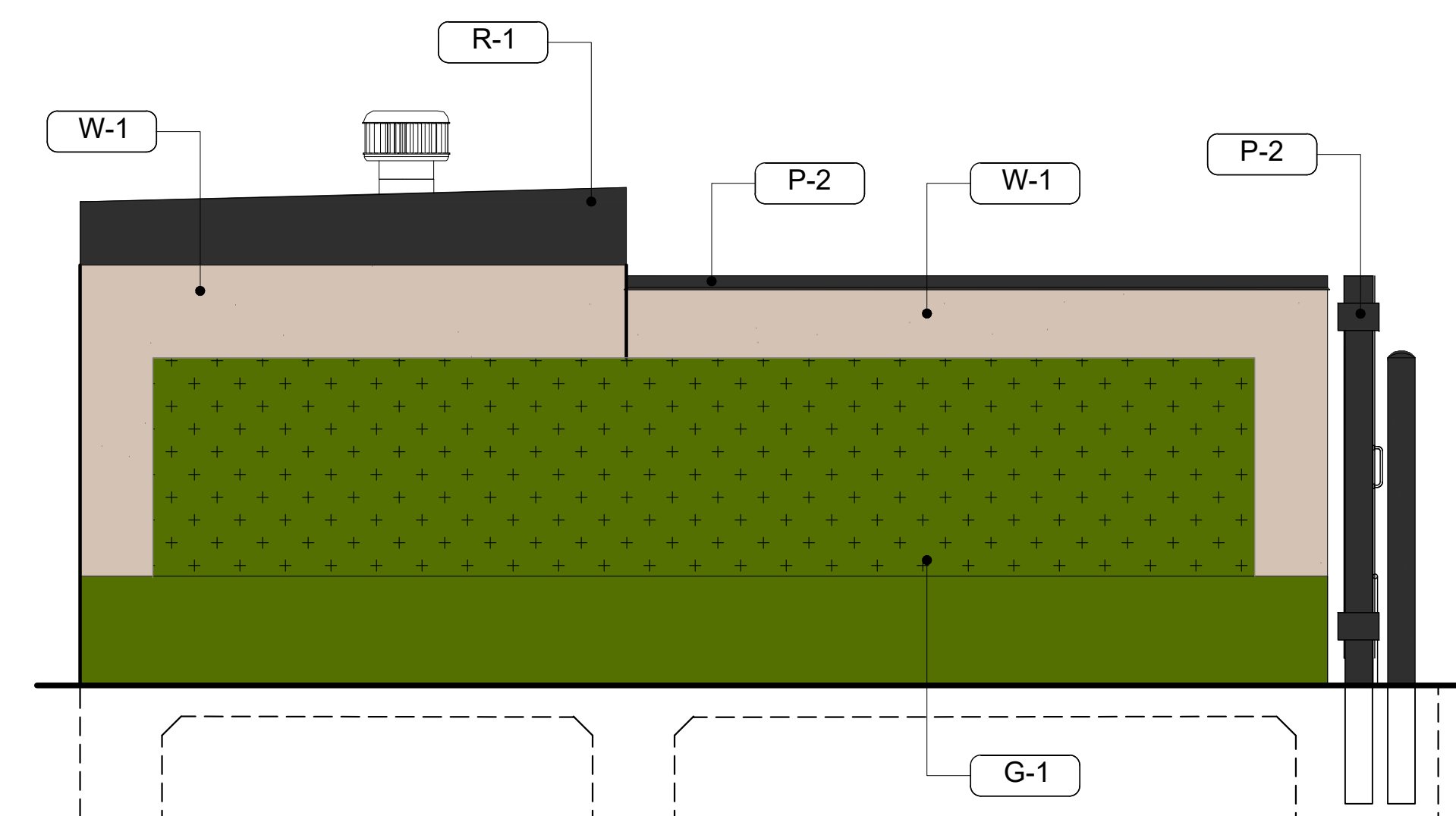
10 FRONT DUMPSTER ENCL. ELEVATION  
3/8" = 1'-0"



9 SIDE DUMPSTER ENCL. ELEVATION  
3/8" = 1'-0"



8 REAR DUMPSTER ENCL. ELEVATION  
3/8" = 1'-0"



7 SIDE DUMPSTER ENCL. ELEVATION  
3/8" = 1'-0"

EXTERIOR FINISH SCHEDULE		
TRELLIS PLANTER WITH GREEN SCREEN AND WALL MOUNTED TRELLIS	G-1	
WALL FINISH LAHABRA CEMENT PLASTER FINISH: COLOR: MIRAGE X-28 (56) BASE 200	W-1	
STANDING SEAM ROOFING AND FLASHING FINISH COLOR: COOL DARK BRONZE	R-1	
DUMPSTER ENCLOSURE GATE, DOOR AND BOLLARDS COLOR: MEDIUM BRONZE	P-2	

Rev. #	Date	Description

PROTO: 9350 CST

7-ELEVEN, INC.  
3200 HACKBERRY ROAD, IRVING, TX 75063

7-ELEVEN 9350 CST  
NE CORNER OF S WATT AVE AND ELDER CREEK RD.  
SACRAMENTO, CA 95829

DUMPSTER ENCLOSURE  
ELEVATIONS

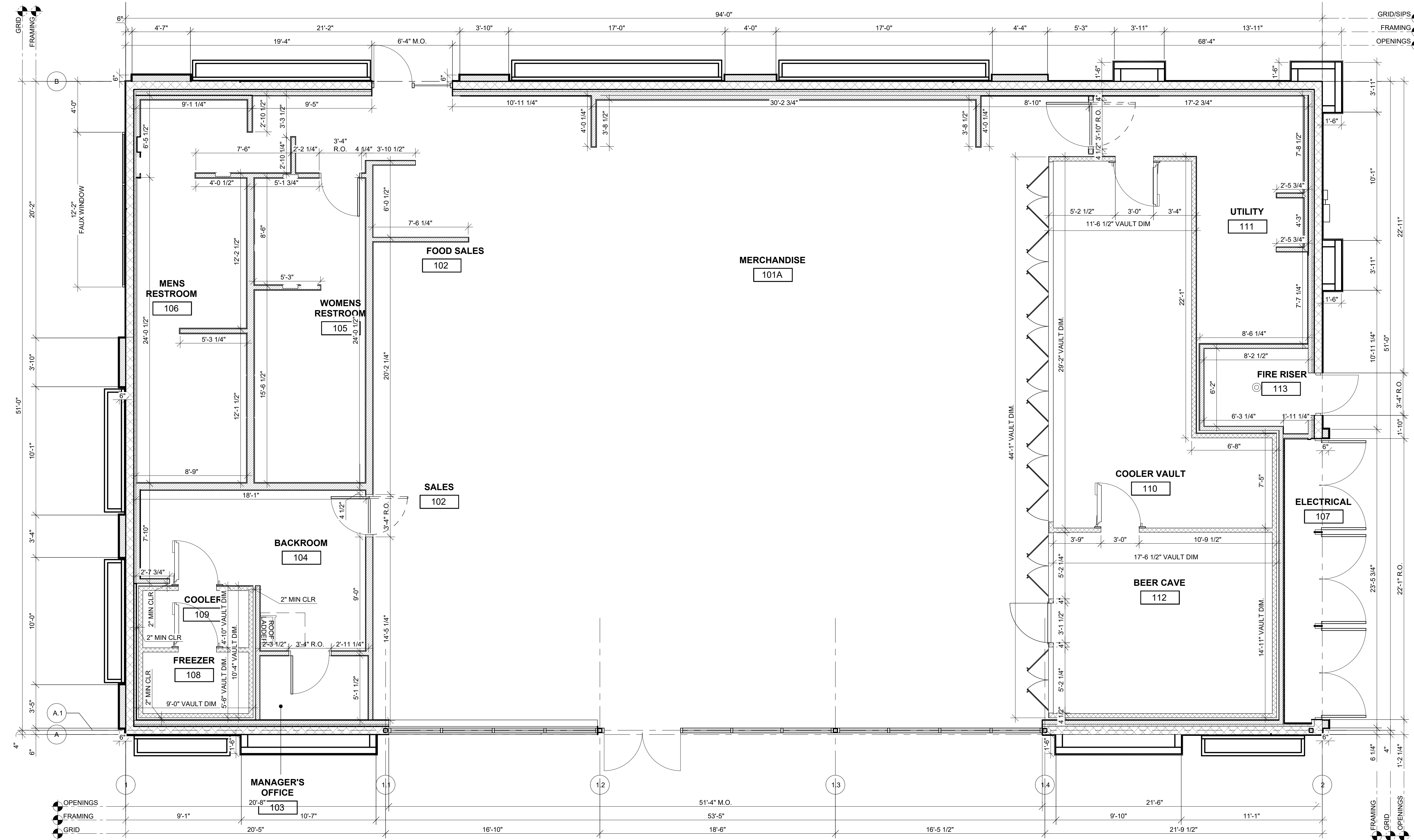
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Scale: AS NOTED  
Date: 11/06/2024  
Drawn By: SN  
Checked By: RW

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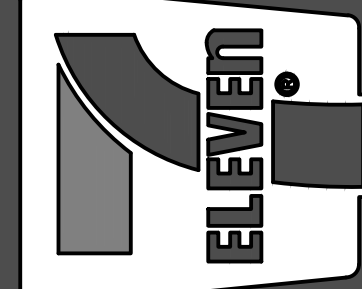


PRELIMINARY  
DRAWINGS  
DO NOT SCALE  
NOT FOR CONSTRUCTION

SHEET:  
**P2.0**

9350 CST

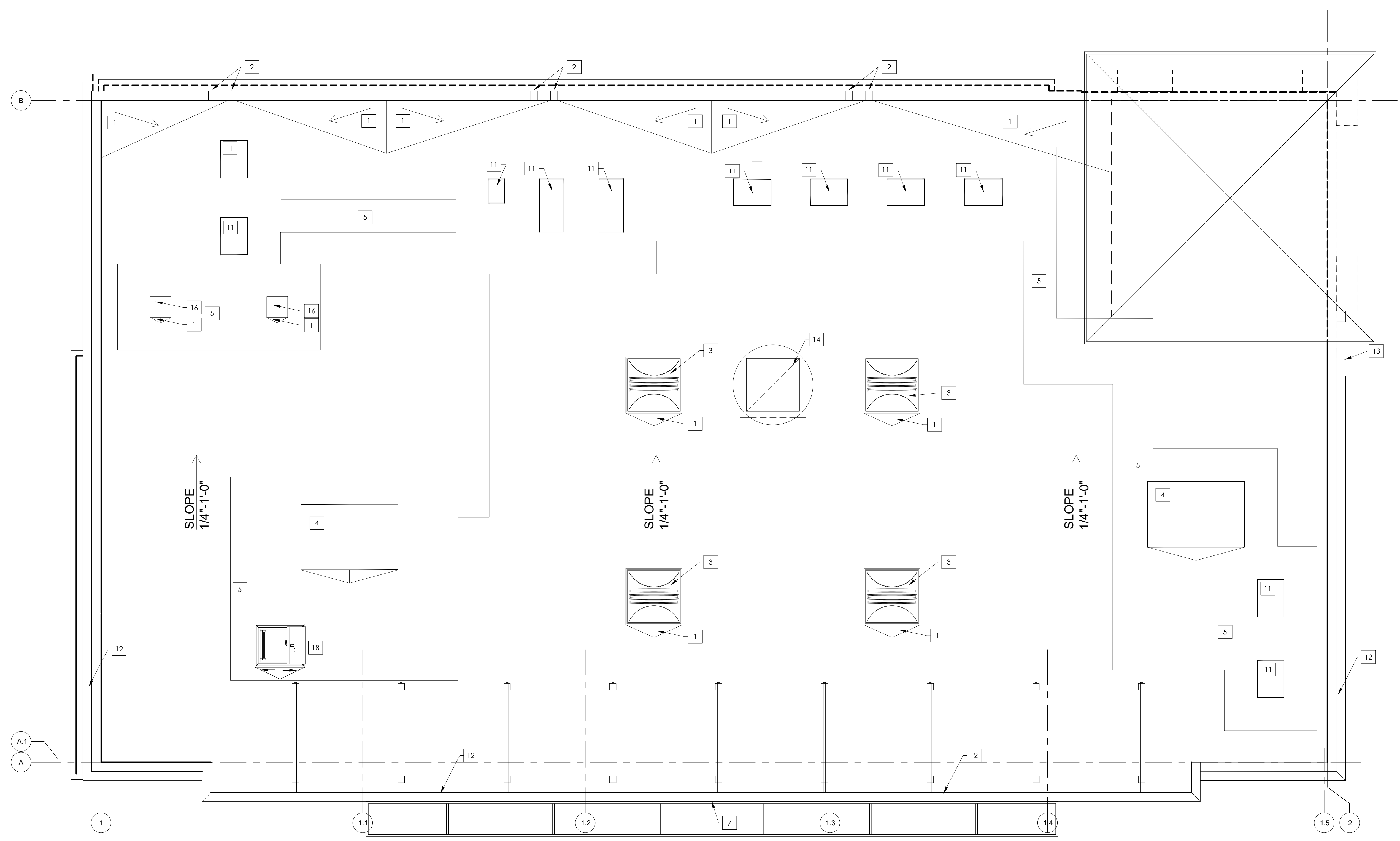


1 FLOOR PLAN  
1/4" = 1'-0"  
N

	
<p>7-ELEVEN, INC. 3200 HACKBERRY ROAD, IRVING, TX 75063</p> <p>7-ELEVEN 9350 CST NE CORNER OF S WATT AVE AND ELDER CREEK RD. SACRAMENTO, CA 95829</p> <p>DIMENSIONED FLOOR PLAN</p>	
	
<p>Job#: C23-186</p> <p>Scale: AS NOTED</p> <p>Date: 11/06/2024</p> <p>Drawn By: SM</p> <p>Checked By: RW</p>	<p>Documents prepared by the firm are for the specific use and only for the specific project and no other projects, by owner or any other party, without the expressed, written consent of the firm. The Group is done at the user's own risk. The user shall be responsible for any modifications made to the product. The Dimension Group shall not be held liable for any damages or losses.</p>
	
<p>SHEET: <b>P3.0</b></p> <p>9350 CST</p>	

Rev. #	Date	Description

KEYNOTES	
1	CRICKET W/ TAPERED INSULATION TYP.
2	INTERNAL ROOF DRAIN AND OVERFLOW DRAIN.
3	SUNOPTICS PRISMATIC SKYLIGHT, 4040 SIGNATURE SERIES, TYP.
4	RTU REF MECHANICAL SHEETS.
5	WALKING PAD TO BE A MINIMUM 30" AROUND MECHANICAL UNIT.
6	NOT USED
7	BACK-LIT FASCIA SIGN BY SEI.
8	NOT USED
9	PLUMBING VENT, REF PLUMBING SHEETS.
10	NOT USED
11	REMOTE CONDENSING UNIT.
12	MECHANICAL SCREEN, REF STRUCTURAL.
13	EXTERIOR ROOF ACCESS LADDER.
14	GRAVITY VENTILATOR, TYP.
15	NOT USED
16	EXHAUST FAN, REF. 4/A2.4
17	SINGLE PLY ROOFING OVER SIPS PANELS, REF. SHEET A6.1 (MR-1).
18	INTERNAL ROOF LADDER.



1 ROOF PLAN  
1/4" = 1'-0"  
N

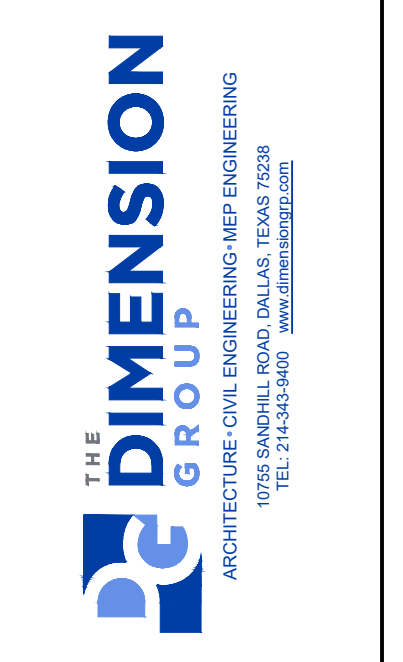
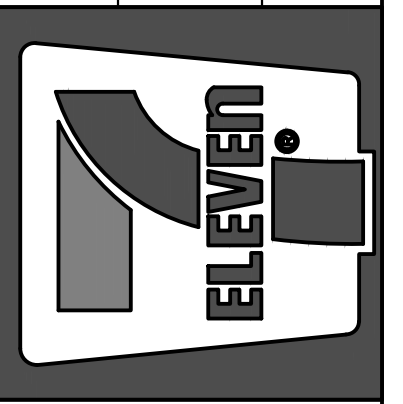
Rev. #	Date	Description

PROTO: 9350 CST

7-ELEVEN, INC.  
3200 HACKBERRY ROAD, IRVING, TX 75063

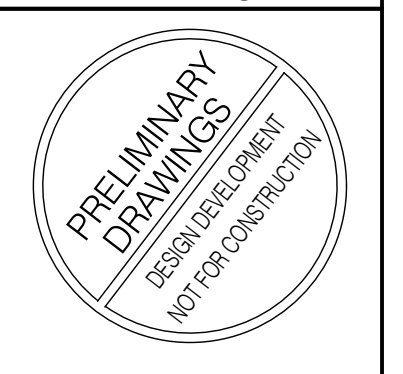
7-ELEVEN 9350 CST  
NE CORNER OF S WAITT AVE AND ELDER CREEK RD.  
SACRAMENTO, CA 95829

ROOF PLAN



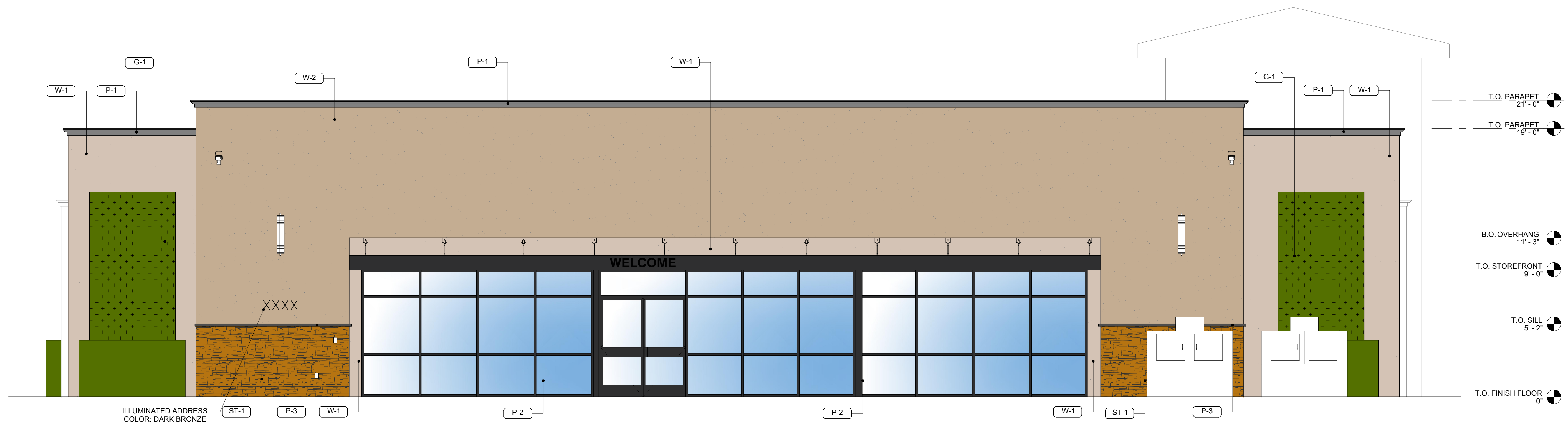
Job#: C23-186  
Scale: AS NOTED  
Date: 11/06/2024  
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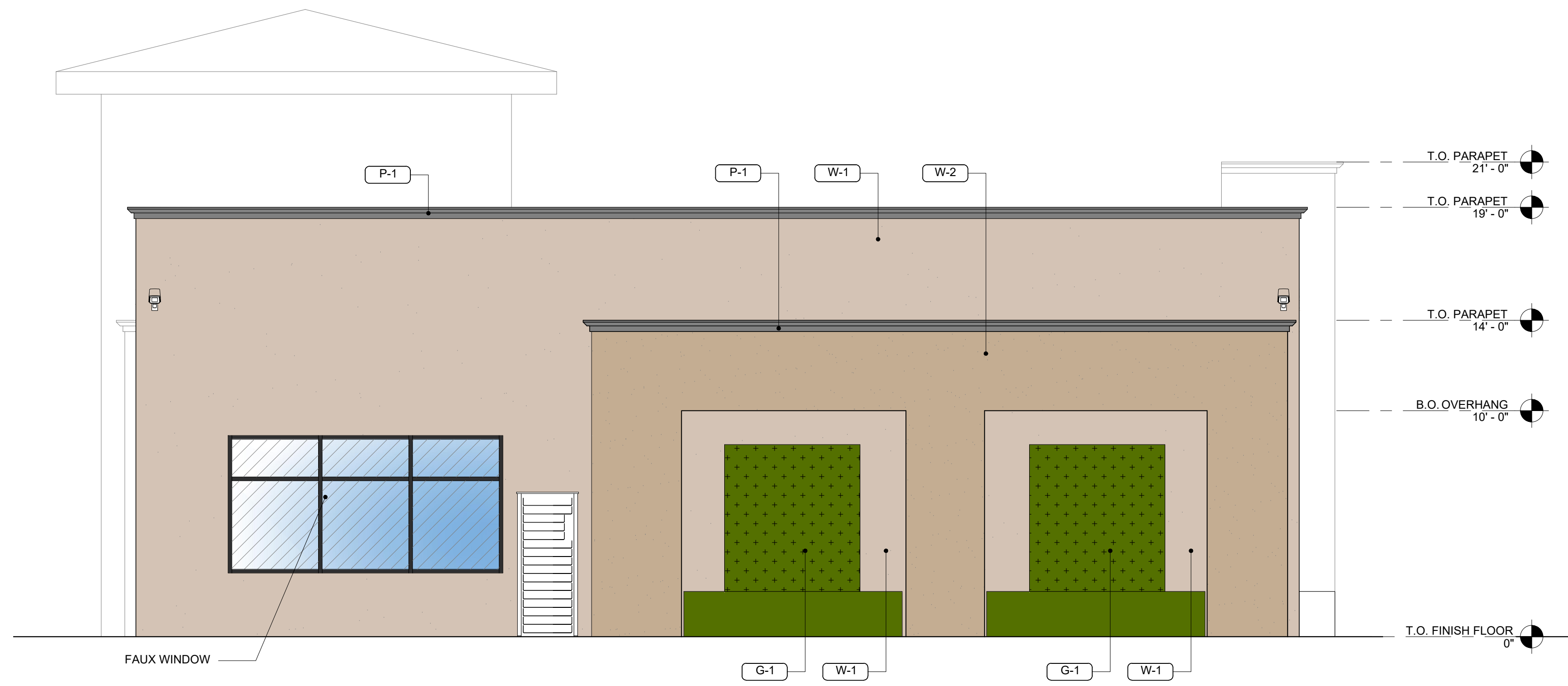


SHEET:  
**P4.0**  
9350 CST

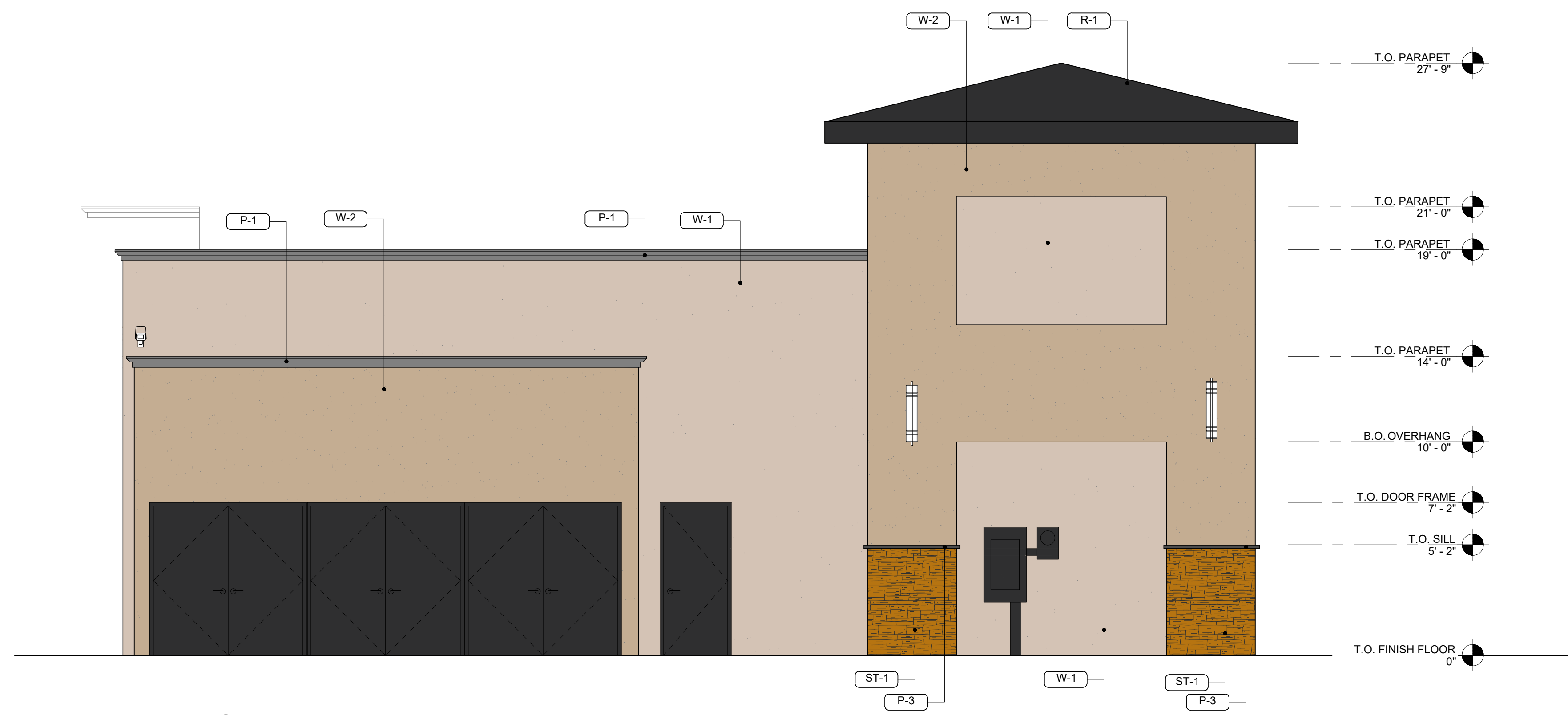
EXTERIOR FINISH SCHEDULE		
EXTERIOR FINISH LAHABRA CEMENT PLASTER FINISH: COLOR: MIRAGE X-28 (66) BASE 200	W-1	
EXTERIOR FINISH LAHABRA CEMENT PLASTER FINISH: COLOR: MISTY X-17 (48) BASE 200	W-2	
EXTERIOR FINISH ELDORADO STONE VENEER RUSTIC LEDGE: SARATOGA	ST-1	
STANDING SEAM ROOFING AND FLASHING FINISH COLOR: COOL DARK BRONZE	R-1	
CORNICE PAINTED GRAY BENJAMIN MOORE: AMHERST GRAY HC-167	P-1	
ALUMINUM STOREFRONT WINDOW AND DOOR SYSTEM, MEDIUM BRONZE	P-2	
BRICK CAP FLASHING BENJAMIN MOORE: AMHERST GRAY HC-167	P-3	
PLANTER W/ GREEN SCREEN WALL MOUNTED TRELLIS	G-1	



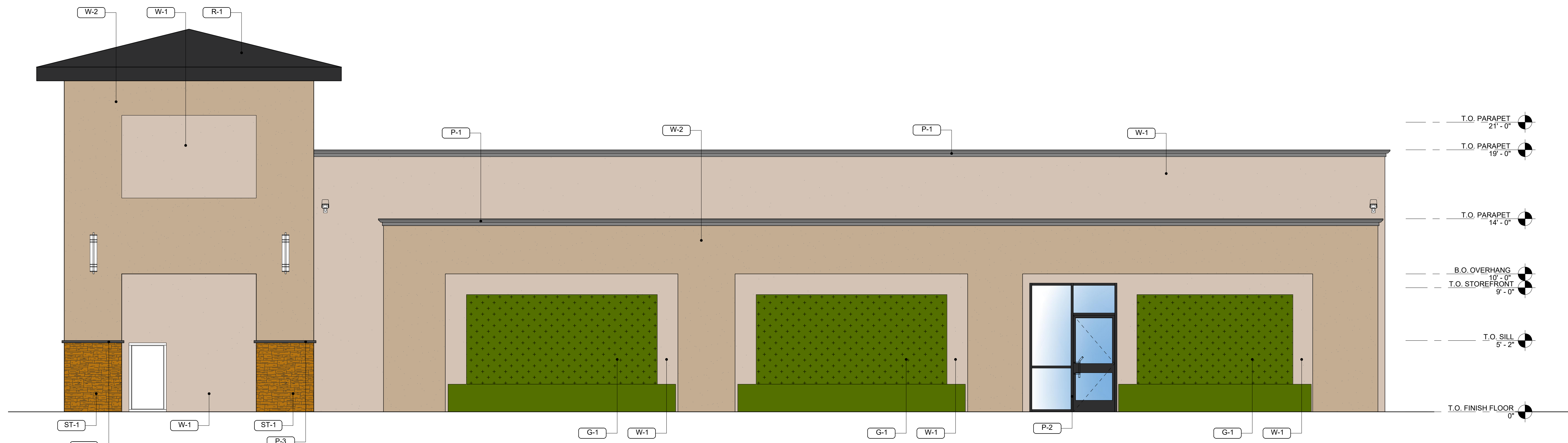
1 ELEVATION - NORTH  
1/4" = 1'-0"



2 ELEVATION - EAST  
1/4" = 1'-0"



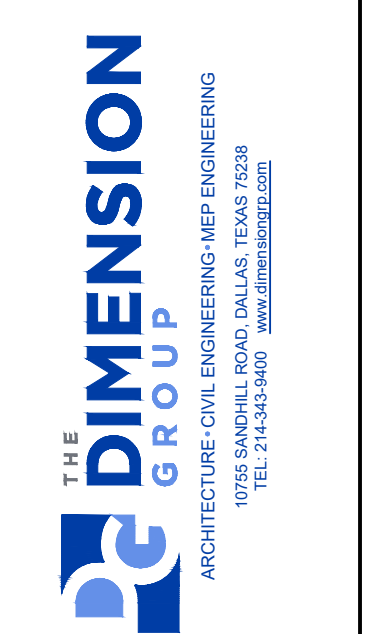
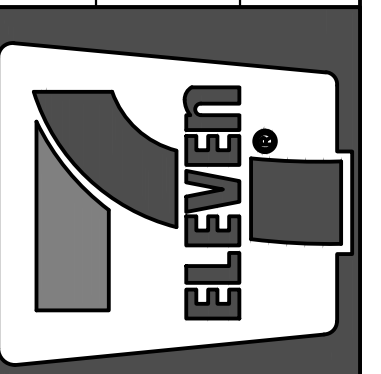
3 ELEVATION - WEST  
1/4" = 1'-0"



4 ELEVATION - SOUTH  
1/4" = 1'-0"

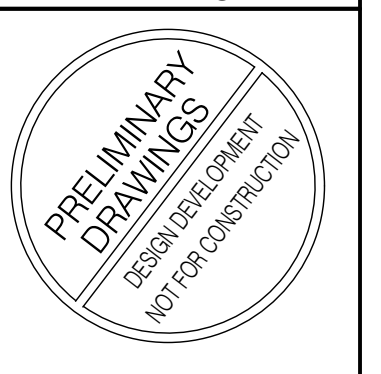
Rev. #	Date	Description

PROTO: 9350 CST  
**7-ELEVEN, INC.**  
 3200 HACKBERRY ROAD, IRVING, TX 75063  
**7-ELEVEN 9350 CST**  
 NE CORNER OF S WATT AVE AND ELDER CREEK RD.  
 SACRAMENTO, CA 95829  
 EXTERIOR ELEVATIONS



Job#: C23-186  
 Scale: AS NOTED  
 Date: 11/06/2024  
 Drawn By: SM  
 Checked By: RW

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SHEET:  
**P5.0**  
 9350 CST





**From:** [LU Project Review Account](#)  
**To:** [Daniel Abbes](#)  
**Subject:** RE: Project Routing: Z24-005, 7-Eleven at NE corner of South Watt Avenue and Elder Creek Road  
**Date:** Tuesday, March 26, 2024 9:39:48 AM  
**Attachments:** [image001.png](#)  
[image002.png](#)

---

Hello Danny,

Thank you for providing the Sac Metro Air District) with the opportunity to review revisions to the 7-Eleven at Elder Creek Road and South Watt Avenue project. Sac Metro Air District commends the addition of the electric vehicle fast chargers, as exceeding [California Green Building Standards](#) voluntary measures for a more climate-supportive project.

Based on the changes to the previously approved project (P20-036), Sac Metro Air District offers the following reminder: The added truck fueling positions are permitted sources requiring an Authority to Construct and Permit to Operate from Sac Metro Air District, and the installation of a California Air Resources Board certified vapor recovery system is required. Sac Metro Air District will conduct a health risk assessment for the fueling station which may limit the throughput to meet allowable health risk levels. For permitting application instructions and forms visit: <https://www.airquality.org/Businesses/Permits-Registration-Programs>. If you have any questions permitting, please contact Steve Mosunic, Program Supervisor with Sac Metro Air District's Permitting Section, at 279-207-1137 or [smosunic@airquality.org](mailto:smosunic@airquality.org).

As a further reminder, all projects are subject to Sac Metro Air District rules and regulations in effect at the time of construction. Please visit our website to [find a list of the most common rules that apply at the construction phase of projects](#). Projects undergoing any CEQA review must implement Sac Metro Air District [Basic Construction Emission Control Practices](#) (BCECP), also available on our website, to help avoid significant construction-related air quality impacts. The BCECP are included as mitigation measures in the project's environmental document under the California Environmental Quality Act.

**Molly Wright**

Air Quality Planner/Analyst

Desk: (279) 207-1157

[mwright@airquality.org](mailto:mwright@airquality.org)

[www.AirQuality.org](http://www.AirQuality.org)

 [@AQMD](#)



---

**From:** Daniel Abbes <DAbbes@cityofsacramento.org>  
**Sent:** Tuesday, March 5, 2024 4:39 PM  
**Subject:** Project Routing: Z24-005, 7-Eleven at NE corner of South Watt Avenue and Elder Creek Road

**\*\*\* THIS EMAIL ORIGINATED OUTSIDE AIRQUALITY.ORG \*\*\***

Hello,

## RESOLUTION 2023–0151

Adopted by the Sacramento City Council

May 23, 2023

### Resolution to Approve the Elder Creek 7-Eleven Annexation Project Entitlements (P16-032)

#### BACKGROUND

- A. The Elder Creek 7-Eleven Annexation Project generally consists of the annexation of 3.42± acres of land from the County of Sacramento into the City, specifically Fruitridge Florin Community Plan area.
- B. On November 10, 2022, after conducting a public hearing, the City Planning and Design Commission forwarded to the City Council a recommendation to approve the Elder Creek 7-Eleven Annexation (P20-036) project.
- C. On May 23, 2023, after giving notice as required by the Sacramento City Code section 17.812.010 (A)(2)(b) and 17.812.030, the City Council conducted a public hearing on the Project, receiving and considering evidence concerning it.

#### BASED ON THE FACTS SET FORTH IN THE BACKGROUND, THE CITY COUNCIL RESOLVES AS FOLLOWS:

##### SECTION 1.

Based on the verbal and documentary evidence received at the hearing on the Elder Creek 7-Eleven Annexation project, the City Council approves the Project entitlements based on the findings of fact and subject to the conditions of approval as set forth below.

##### SECTION 2.

The City Council approves the Project entitlements based on the following findings of fact:

- E. **Conditional Use Permit** for a large gas station in the Light Industrial (M-1S) zone is approved based on the following Findings of Fact:
  - 1. The proposed use and its operating characteristics are consistent with the general plan. The proposed project is consistent with the General Plan Land Use Designation of Industrial and its goals and policies because it develops a vacant, underutilized parcel within the City's Sphere of Influence with a commercial use

that will support nearby industrial and heavy commercial uses. Furthermore, the proposed project is consistent with General Plan policy related to commercial uses that offer enhanced design characteristics with elevated design and by improving the street frontage and associated streetscape with a well landscaped corridor. There is no specific plan or transit village plan associated with this project.

2. The proposed use and its operating characteristics are consistent with the applicable standards, requirements, and regulations of the zoning districts in which it will be located, and of all other provisions of this title and this code. The project as proposed complies with the development standards of the Light Industrial (M-1S) zone. Staff finds that the buildings adequately address setbacks, landscaping, and pedestrian and vehicular connectivity.
3. The proposed use is situated on a parcel that is physically suitable in terms of location, size, topography, and access, and that is adequately served by public and private services and utilities, in that the project will have three points of vehicular ingress/egress from South Watt Avenue, Elder Creek Road and Turner Road. The project will manage its stormwater through appropriate grading and paving and will be served by the required public and private utilities needed to ensure proper operation of the use.
4. The proposed use and its operating characteristics are not detrimental to the public health, safety, convenience, or welfare of persons residing, working, visiting, or recreating in the surrounding neighborhood and will not result in the creation of a nuisance. The design, building placement, and site improvements will provide a positive contribution to the area by activating East Commerce Way. The project has been conditioned to ensure a long-lasting operation that will work to enhance available amenities for the surrounding area and developing a vacant parcel into a clean and welcoming use. Additionally, the gas station is conditioned to provide a minimum of two spaces of level-2 electric vehicle charging.

**F. Conditional Use Permit** for alcohol sales is approved based on the following Findings of Fact:

1. The proposed use and its operating characteristics are consistent with the General Plan and any applicable specific plan or transit village plan. As a low intensity retail use near residential neighborhoods, the proposed alcohol sales conform to the General Plan designation of Industrial and is consistent with the related goals and policies of this designation.
2. The proposed use and its operating characteristics are consistent with the applicable standards, requirements, and regulations of the Light Industrial (M-1S) zone in which it is located, and all other provisions of this title and this code. The

proposed alcohol sales conform to the applicable standards, requirements, and regulations of the Industrial (M-1S) zoning district and other applicable conditions of the City Code.

3. The proposed use is situated on a parcel that is physically suitable in terms of location, size, topography, and access, and that is adequately served by public and private services and utilities, in that the project will have three points of vehicular ingress/egress and will manage its stormwater through appropriate grading and paving and will be served by the required public and private utilities needed to ensure proper operation of the use.
4. The proposed use and its operating characteristics are not detrimental to the public health, safety, convenience, or welfare of persons residing, working, visiting, or recreating in the surrounding area and will not result in the creation of a nuisance. The alcohol sales will be within the convenience store and will serve as a quick and convenient shopping location for those working and living in the immediate area. The alcohol license and conditional use permit are compatible with the intensity and type of the surrounding uses on adjacent roadways in a heavily industrialized area and will be conditioned to ensure that the business will not negatively impact any of the surrounding businesses. Additionally, the Police Department has reviewed the proposed request for alcohol sales and has determined that the provision of this license would not result in a nuisance to the surrounding area and has provided conditions to be placed on the alcohol license to ensure this. The applicant is required to post information of a 24-hour emergency phone number and contact person to coordinate the resolution of neighborhood in a timely manner.
5. The proposed use will not adversely affect the peace or general welfare of the surrounding area. The use permit is conditioned with hours of operation so as to be compatible with adjacent residential uses in the surrounding neighborhood. The applicant is required to post information of a 24-hour emergency phone number and contact person to coordinate the resolution of neighborhood in a timely manner.
6. The proposed use will not result in undue concentration of establishments dispensing alcoholic beverages. The overconcentration of alcohol purveyors in the area as determined by the Alcohol Beverage Control (ABC) Agency necessitated a Letter of Public Convenience or Necessity, which was issued by the City of Sacramento Police Department. In issuing this letter, the Police Department determined that there is no basis for denying this license to the subject site due to undue concentration of alcohol serving establishments within the census tract.

7. The proposed use will not enlarge or encourage the development of a skid row or blighted area. The sale of alcohol will be supervised by ABC and is required to comply with the conditions on the ABC license. The use permit is conditioned to be compatible with nearby uses in addition to a number of “good neighbor” policies which require the operator to have contact information posted in a readily accessible location. Acceptance and compliance with CUP operating conditions will assist in discouraging and preventing associated negative impacts which can contribute to the development of blighted areas.
8. The proposed use will not be contrary to or adversely affect any program or redevelopment or neighborhood conservation. The granting of this use permit will allow for conditions of approval to be included with the permit and will provide more support for both the business and surrounding land uses.

**G. Conditional Use Permit** for tobacco retailing in the Light Industrial (M-1S) zone is approved based on the following Findings of Fact:

1. The proposed tobacco retail use is consistent with the Industrial land use designation and the goals and policies of the 2035 General Plan by supporting a business that will support employment generating and residential uses in an area with few amenities. Additionally, activating this vacant lot will help stimulate the local economy with a new business by providing jobs.
2. The proposed use and its operating characteristics are consistent with the applicable standards, requirements, and regulations of the Light Industrial (M-1S) zone and Planning and Development Code. The project is an allowable use in the zone and has been evaluated for any potential impacts it may have on nearby land uses.
3. The proposed use is situated on a parcel that is physically suitable in terms of location, size, topography, and access, and that is adequately served by public and private services and utilities, in that the tobacco sales will occur fully inside the convenience store and behind the attendant counter.
4. The proposed use would not be detrimental to the public health, safety, convenience, or welfare of persons residing, working, visiting, or recreating in the surrounding neighborhood and will not result in the creation of a nuisance. The purchasing of tobacco products at the subject site is not expected to be detrimental to the surrounding neighborhood or a nuisance because the project will provide a point of sale (POS) identification check to ensure tobacco is not sold to minors in addition to the project implementing several security measures as part of establishing the gas station. The project will also provide a minimum of 250 square

feet dedicated to the sale of fresh food products in accordance with the requirements for tobacco sales.

**H. Site Plan and Design Review** for the construction of the gas station, a 4,150-square foot Convenience Store, and a 790-square-foot ancillary carwash in the Light Industrial (M-1S) zone is approved based on the following Findings of Fact:

1. The proposed use and its operating characteristics are consistent with the general plan. The proposed project is consistent with the General Plan Land Use Designation of Industrial and its goals and policies because it develops a vacant, underutilized parcel within the City's Sphere of Influence with a commercial use that will support nearby businesses and visitors. Furthermore, the proposed project is consistent with General Plan policy related to commercial projects that offer enhanced design characteristics by providing attractive and welcoming architecture while improving the street frontage and association streetscape with a well landscaped corridor. There is no specific plan or transit village plan associated with this project.
2. The proposed use and its operating characteristics are consistent with the applicable standards, requirements, and regulations of the zoning districts in which it is located, and of all other provisions of this title and this code. The project as proposed complies with the development standards of Light Industrial (M-1S) zone. Staff finds that the buildings adequately address setbacks, landscaping, and pedestrian and vehicular connectivity.
3. All streets and other public access ways and facilities, parking facilities, and utility infrastructure are adequate to serve the proposed development and comply with all applicable design guidelines and development standards in that the proposed project provides onsite and offsite improvements to sufficiently serve the project and its users through appropriate stormwater management, extension of necessary public and private utility infrastructure, and parking and landscaping improvements.
4. The design, layout, and physical characteristics of the proposed development are visually and functionally compatible with the surrounding neighborhood in that the surrounding area is a mix of industrial warehousing, outdoor storage yards, and other heavy commercial and industrial uses. The proposed design utilizes materials compatible with the commercial design guidelines where the project will create an active and dynamic use while enhancing the collective streetscape and architectural quality of its surroundings. The onsite improvements will enhance the existing streetscape creating uniformity with adjacent development.

5. The design, layout, and physical characteristics of the proposed development ensure energy consumption is minimized and use of renewable energy sources is encouraged. The project meets the 50-percent shade requirement which helps shade the buildings and heat absorbent surfaces such as asphalt, ultimately reducing the urban heat island effect, which translates to reduced energy consumption needed to condition or cool the interior of the building.
6. The design, layout, and physical characteristics of the proposed development are not detrimental to the public health, safety, convenience, or welfare of persons residing, working, visiting, or recreating in the surrounding neighborhood and will not result in the creation of a nuisance in that the project provides a local workers and residents with a convenient place to shop and purchase gas and food while also providing outdoor amenities and electric vehicle charging in an area with few amenities.

### **CONDITIONS OF APPROVAL**

- E. The **Conditional Use Permit** for a gas station in the Light Industrial (M-1S) zone is **approved** subject to the following Conditions of Approval:
  - E1. Development shall comply with the Site Plan and Design Review conditions of approval.
  - E2. No amplified sound is permitted outdoors. The operator is responsible for ensuring customers do not amplify sound.
  - E3. The operator shall be responsible for the daily removal of all litter from the site.
  - E4. The following “Good Neighbor” measures shall be implemented by the applicant and any operator:
    - a. Establish a process for neighbors to communicate directly with management staff should there be any problems or issues.
    - b. Provide signage at the building storefront that includes a 24-hour emergency contact person and phone numbers on-site that is located in a clearly identified place and kept up to date.
  - E5. The parking area of the gas station shall install level-2 electric vehicle charging capable of charging a minimum of two electric vehicles simultaneously.
  - E6. Trash receptacles shall be placed at the fuel islands for use by customers.

- E7. No mechanical auto repair or auto body repair shall take place on the premises.
  - E8. Any modification to the project shall be subject to review and approval by Planning Staff prior to the issuance of building permits. Any significant modification to the project may require additional planning entitlements.
  - E9. The applicant shall obtain all applicable permits for the sale of fuel.
- F. The **Conditional Use Permit** for alcohol sales in the Light Industrial (M-1S) zone is **approved** subject to the following conditions:
- F1. The following “Good Neighbor” measures shall be implemented by the applicant and any operator:
    - a. Establish a process for neighbors to communicate directly with the management staff of the market should there be any problems or issues.
    - b. Provide signage at the building storefront that includes a 24-hour emergency contact person and phone numbers on-site that is located in a clearly identified place and kept up to date.
  - F2. The operator shall be responsible for the daily removal of all litter from the site.
  - F3. Any modification to the attached plans shall be subject to review and approval by Planning staff prior to the issuance of any Building permits.
  - F4. Any future exterior modifications to the building shall be reviewed and approved by Planning and Design staff.
  - F5. A minimum of one “No Loitering” sign shall be prominently placed on the exterior of the building.
  - F6. Any signage shall comply with the City Sign Code requirements. All signage is subject to a separate review and approval process through a sign permit.
  - F7. Sales of alcoholic beverages shall be permitted per the conditions of the ABC license.
  - F8. Any modifications to the hours of alcohol sales shall require additional planning review and may result in the need for additional planning entitlements.



G. The **Conditional Use Permit** for tobacco retailing in the Industrial (M-1S) zone is **approved** subject to the following conditions:

G1. The applicant shall obtain required licensing by the Revenue Department prior to operating.

G2. This Conditional Use Permit expires after three years from date of approval if no tobacco retail license has been obtained and if the selling of tobacco has not commenced.

H. **Site Plan and Design Review** for the construction of the gas station, a 4,150-square-foot convenience store, and a 790-square-foot carwash in the Light Industrial (M-1S) zone is **approved** subject to the following conditions:

### **PLANNING**

H1. Development of this site shall be in compliance with the approved plans. Any modification to the project shall be subject to additional planning review and may require subsequent entitlements prior to the issuance of building permits.

H2. This approval is for the development of six-pump (12 fueling stations) gas station with a 4,150-square-foot convenience store, and a 790-square-foot ancillary (accessory) car wash.

H3. The building elevations shall have a consistency of detail and quality as indicated on the plans. If there are any discrepancies between the exhibits and the conditions, the conditions will take precedence. All notes and drawings on the included plans as submitted by the applicant are deemed conditions of approval. Any work that differs from the final set of plans approved by Planning staff shall be subject to review and approval prior to the issuance of a building permit or work undertaken.

H4. The applicant shall comply with the approved Mitigation Monitoring Plan for this project (P20-036) on file at the Planning Division.

H5. The applicant shall obtain all necessary building and encroachment permits prior to commencement of construction.

H6. Level-2 electric vehicle charging shall be provided as indicated on approved plans. The charger(s) shall be able to charge a minimum of two vehicles simultaneously.

- H7. Location and number of short- and long-term bicycle parking shall be provided as indicated on the approved plans. This project requires a minimum of 2 long-term and 2 short-term bicycle spaces.
- H8. The project shall comply with the tree shading requirements for parking lots, prescribed in the Planning and Development Code section 17.612.040.
- H9. The project shall comply with applicable recycling and solid waste disposal regulations as prescribed in Planning and Development Code section 17.616.
- H10. All proposed signage is subject to a separate sign permit and shall conform to all applicable Sacramento City Code requirements.
- H11. Mechanical equipment shall be screened from all street views. Final plans indicating size and location of units shall be reviewed and approved by planning staff prior to issuance of building permits to ensure full compliance of requirement to fully screen all mechanical equipment.
- H12. Project lighting shall comply with all applicable Sacramento City Code requirements. Fixtures shall be unobtrusive and complementary to the architectural design of the site. Wall pack and shoe box lighting are not permitted. Lighting shall be designed to not produce hazardous and annoying glare to motorists and building occupants, adjacent properties, or the general public. All fixtures should be placed in a manner that avoids glare when observed from the street or other public areas.
- H13. Provide the following design elements at all elevations as shown on the approved plans:
- a. Stucco.
  - b. Storefront windows.
  - c. Hollow core metal door.
  - d. Roof trim.
  - e. ACM panel system.
  - f. Cast stone veneer.
  - g. GI flashing.

- h. Aluminum awning.
  - i. Aluminum trim.
- H14. Trash enclosures shall meet all requirements of Sacramento City Code section 17.616, including, but not limited to, perimeter landscaping, masonry walls, solid metal gate, concrete apron, overhead clearance, and signs.
- H15. Provide the following design elements on all elevations of the trash enclosure as shown on the approved plans:
- a. Color and texture mix of cement block
  - b. Rib panel cover
  - c. Vegetation screen

## **PUBLIC WORKS**

- H16. Construct standard public improvements as noted in these conditions pursuant to Title 17 of the City Code. Improvements shall be designed to City of Sacramento and County of Sacramento Standards and assured as set forth in Section 17.502.020 of the City Code. All improvements shall be designed and constructed to the satisfaction of the Department of Public Works. Any public improvements not specifically noted in these conditions shall be designed and constructed to City Standards.
- H17. Dedicate sufficient right of way and Construct South Watt Avenue consistent with County of Sacramento 6-lane arterial roadway standards. The construction of South Watt Avenue shall be from the Centerline of the road to the east including a standard bus turn-out and full frontage improvements to the satisfaction of the City of Sacramento and County of Sacramento.
- H18. The applicant shall coordinate with the County of Sacramento and extend the existing curb median along South Watt Avenue further to the north (50-feet past the proposed driveway) to prevent left in and out vehicular movements from the proposed driveway along South Watt Avenue to the satisfaction of the City of Sacramento and County of Sacramento.
- H19. Dedicate right of way and construct a standard bus turn out with a concrete bus shelter pad per Standard Drawing 4-43 (top drawing) and 4-44 in the 2018 Sacramento County Improvement Standards along South Watt Avenue consistent with the County of Sacramento standards and to the satisfaction of the City of

Sacramento and County of Sacramento. The bus pad shall have a minimum separate of 10-feet from the driveway.

- H20. Dedicate sufficient right of way along Elder Creek Road in the form of an Irrevocable Offer of Dedication (I.O.D.) to the satisfaction of the County of Sacramento. The required I.O.D. for Elder Creek Road shall be based on Sacramento County standards and shall include two westbound left turn lanes, three through lanes, a 5-foot bicycle lane and a single right turn lane. The applicant shall also dedicate a 20-foot wide Public Utilities and Public Facilities Easement (PUPFE) adjacent to the ultimate right of way along Elder Creek Road to the satisfaction of the County of Sacramento. The applicant shall coordinate with the City of Sacramento on any proposed improvements to be constructed within the PUPFE Easement area that includes any landscaping or tree plantings.
- H21. The applicant shall construct interim improvements along Elder Creek Road with full frontage improvements (curb, gutter, planter, and sidewalk, streetlights) to the satisfaction of the City and County of Sacramento. The new sidewalk construction shall be constructed in the ultimate location and shall have an appropriate transition to the intersection corner to the satisfaction of the City and County of Sacramento.
- H22. No driveway permit shall be issued for the proposed driveway along Elder Creek Road until the applicant provides complete improvement plans and a roadway design that provides for:
- a. A 2-foot wide (minimum) median/curb to prevent left in/out movement at the driveway.
  - b. A minimum of 18-feet of pavement width for the eastbound lane on Elder Creek Road and an appropriate shoulder.
  - c. Appropriate lane transitions per MUTCD for westbound approaches and eastbound approaches.
  - d. All required signage and roadway pavement markings.
  - e. The final design shall be to the satisfaction of the City and County of Sacramento.
- H23. Dedicate sufficient right of way and construct the west side of Turner Road per the City's Local Industrial Street standard (DPM plate No.15-4) to the satisfaction of the Department of Public Works.

- H24. To accommodate the proposed vehicular access and driveway along South Watt Avenue, the applicant shall contact and negotiate with the County of Sacramento to obtain access rights along this parcel's frontage on South Watt Avenue and to relinquish the access restriction in place to the satisfaction of the County of Sacramento.
- H25. As a result of all roadway construction, the applicant shall relocate any existing utilities which conflict with the required improvements (i.e., power poles, signal mast arms, signal equipment, electrical cabinets, manholes, etc.) consistent with County of Sacramento standards to the satisfaction of the City of Sacramento and County of Sacramento.
- H26. This project will require the installation of streetlights on all public streets fronting this property to the satisfaction of the City of Sacramento and County of Sacramento. The number and locations of these lights will be determined when development plans are submitted for review.
- H27. All right-of-way and street improvement transitions that result from changing the right-of-way of any street shall be located, designed and constructed to the satisfaction of the City of Sacramento and County of Sacramento.
- H28. The applicant shall provide a signing and striping improvement plan if new signage or striping is proposed; or if existing signing and/or striping is removed or relocated. The plans shall be to the satisfaction of the City of Sacramento and County of Sacramento.
- H29. All new driveways shall be designed and constructed to City Standards to the satisfaction of the Department of Public Works.
- H30. Comply with requirements included in the Mitigation Monitoring Plan developed by, and kept on file in, the Planning Division Office (P20-036).
- H31. The site plan shall conform to A.D.A. requirements in all respects. This shall include the replacement of any curb ramp that does not meet current A.D.A. standards at the following locations:
- a. At the north-east corner of South Watt Avenue and Elder Creek Road intersection.
  - b. At the north-east and north-west corner of Turner Road and Elder Creek Road intersection

- H32. The site plan shall conform to the parking requirements set forth in City Code 17.608.040.
- H33. The design of walls fences and signage near intersections and driveways shall allow stopping sight distance per Caltrans standards and comply with City Code Section 12.28.010 (25' sight triangle). Landscaping in the area required for adequate stopping sight distance shall be limited 3.5' in height at maturity. The area of exclusion shall be determined by the Department of Public Works.
- H34. 20. A stop bar at the exit of the car wash tunnel shall be provided.

## **UTILITIES**

- H35. The development of this site must comply with the current City of Sacramento design standards. The water and drainage services shall be located, designed and constructed per the City of Sacramento Design and Procedure Manual and shall be to the satisfaction of the Department of Utilities (DOU).
- H36. Prior to the initiation of water and storm drainage services, the developer must complete the annexation process with the City of Sacramento. Evidence of the completion shall be submitted to the DOU concurrent with the building permit application. (Note: The DOU will not install any services until the annexation is completed and recorded.)
- H37. Per City Code Section, 13.04.070, multiple water service to a single lot or parcel may be allowed if approved by DOU Development Review and Operations and Maintenance staff. Any new water services (other than fire) shall be metered. Excess services shall be abandoned to the satisfaction of the DOU. (Note: Water taps across street medians are not allowed, unless otherwise approved by the DOU.)
- H38. Concurrent with the submittal of improvement plans, prepare a project specific water study for review and approval by the DOU. The water distribution system shall be designed to satisfy the more critical of the two following conditions: (1) at maximum day peak hour demand, the operating or "residual" pressure at all water service connections shall be at least 30 pounds per square inch, (2) at average maximum day demand plus fire flow, the operating or "residual" pressure in the area of the fire shall not be less than 20 pounds per square inch. The water study shall determine if the existing and proposed water distribution system is adequate to supply fire flow demands for the project. A water supply test may be required for this project. The applicant is advised to contact the City of Sacramento Utilities Department Development Review Section (916-808-7890) at the early planning stages to address any water related requirements. Failure to submit the water

study may delay review and approval.

- H39. The proposed development is not contiguous to an existing public water main. The property owner/developer shall construct off-site water main extensions as determined by the DOU. (Note: Construct a water main extension and appurtenances in South Watt Avenue on the east side of the street median. Taps to the existing 12" City water main located in the west side of the street median are not allowed, unless otherwise approved by the DOU. The construction of the new water main shall be to the satisfaction of the DOU.)
- H40. Two points of service for the public water distribution system for this development are required. All water lines shall be placed within the asphalt section of public rights-of-way as per the City's Design and Procedures Manual.
- H41. Common area landscaping greater than 5,000 square feet shall have a separate street tap for a metered irrigation service.
- H42. Manifold water services are not allowed. Separate service taps to the public water main system are required.
- H43. The applicant shall prepare a project specific drainage study meeting the criteria specified in the current Onsite Design Manual for review and approval by the DOU. This project site has two drainage shed. A portion of this site drains to the City and the other portion drains to the County. Connections to the existing drainage system shall be consistent with the existing drainage shed areas or otherwise approved by the DOU. Modification to the drainage shed may require coordination between the County and City. The required detention volume can be partially or fully mitigated by implementing Low Impact Development (LID) features such as Stormwater planters and porous pavement, provided these features conform to the DOU's Hydromodification Management Plan (HMP) requirements. Designer shall utilize the latest edition of the Sacramento Area Hydrology Model (SAHM) when using LID features. The applicant is advised to contact the City of Sacramento Utilities Department Development Review Section (916-808-7890) at the early planning stages to address any drainage related requirements. Failure to submit the drainage study may delay review and approval. (Note: A maintenance agreement may be required for detention and Low Impact Development (LID) features.)
- H44. The onsite water and storm drain systems shall be private systems maintained by the owner or other approved entity.
- H45. Private drainage taps cannot tap into public drain inlets.

- H46. Finished floor elevations shall be a minimum of 6-inches above the 100-year HGL or 1-foot above the overland flow release elevation, whichever is higher or as approved by the DOU.
- H47. Per City Code, the applicant may not develop the project in any way that obstructs, impedes, or interferes with the natural flow of existing off-site drainage that crosses the property. The project shall construct the required public and/or private infrastructure to handle off-site runoff to the satisfaction of the DOU. If private infrastructure is constructed to handle off-site runoff, the applicant shall dedicate the required private easements, and/or, at the discretion of the DOU, the applicant shall enter into and record an Agreement for Maintenance of Drainage with the City, in a form acceptable to the City Attorney.
- H48. No more than 6,000 square feet is allowed to sheet drain over a public sidewalk. If the area is larger than 6,000 square feet, then an on-site surface drainage system is required and shall be connected to the street drainage system by means of a storm drain service tap. All on-site systems shall be designed to the standard specified in the DOU onsite manual.
- H49. A grading plan showing existing and proposed elevations is required. Adjacent off-site topography shall also be shown to the extent necessary to determine impacts to existing surface drainage paths. No grading shall occur until the grading plan has been reviewed and approved by the DOU.
- H50. This project will disturb more than one acre of land; therefore, the project is required to comply with the State's "Construction General Permit". To comply with the State Permit, the applicant must file a Notice of Intent (NOI) through the State's Storm Water Multiple Application and Report Tracking System (SMARTS). A valid WDID number must be obtained and provided to the DOU prior to the issuance of any grading permits.
- H51. The applicant must comply with the City of Sacramento's Grading, Erosion and Sediment Control Ordinance. This ordinance requires the applicant to show erosion and sediment control methods on the construction drawings. These plans shall also show the methods to control urban runoff pollution from the project site during construction.
- H52. Post construction (permanent), stormwater quality control measures shall be incorporated into the development to minimize the increase of urban runoff pollution caused by development of the area. The project is an area not served by an existing regional water quality control facility and/or the project has more than one-acre of new or modified impervious area, therefore, Low Impact Development (LID), Hydromodification Management Plan (HMP), certified full capture trash



control devices and on-site treatment control measures will be required. The on-site storm water treatment control measures required may affect site design and site configuration and should be considered during early planning stages.

H53. A separate maintenance agreement may be required for both on-site treatment control measures and full capture control devices. Contact DOU for a list of accepted proprietary devices considered for treatment control and full capture trash control. Construction drawings must include all proposed source controls and on-site water quality measures selected for the site. Refer to the latest edition of the "Stormwater Quality Design Manual for the Sacramento Region" for appropriate measures.

## **POLICE**

H54. Exterior lighting shall be white light using LED lamps with full cutoff fixtures to limit glare and light trespass. Color temperature shall be between 2700K and 4100K with a color rendering index of 80 or higher and a light loss factor of .95 or better. When choosing lamps, the applicant shall look for efficiency of 110 lumens per watt or better. All existing exterior fixtures shall be replaced with fixtures that meet this requirement.

H55. Light poles shall be no higher than 25'.

H56. Broken or damaged exterior lighting shall be repaired or replaced within 48 hours of being noted.

H57. Entry drives, drive aisles, parking and bicycle parking shall be illuminated to a maintained minimum of 1.5 foot candles per square foot of parking area at a 6:1 average to minimum ratio.

H58. Exterior walkways, alcoves and passageways shall be illuminated to a maintained minimum of 1/3 foot candles per square foot of surface area at a 6:1 average to minimum ratio.

H59. Exterior lighting distribution and fixtures shall be approved by the Sacramento Police Department CPTED Sergeant (or designee) prior to issuance of a building permit.

H60. Exterior lighting shall be designed in coordination with the landscaping plan to minimize interference between the light standards and required illumination and the landscape trees and required shading.

H61. Exterior lighting shall be shielded or otherwise designed to avoid spill-over

illumination to adjacent streets and properties.

- H62. All mature landscaping shall follow the two-foot, six-foot rule. All landscaping shall be ground cover, two feet or less and lower tree canopies of mature trees shall be above six feet. This increases natural surveillance, eliminates hiding areas within the landscape, and provides for tenants and users a safer environment.
- H63. Tree canopies shall not interfere with or block lighting. This creates shadows and areas of concealment. The landscaping plan shall allow for proper illumination and visibility regarding lighting and surveillance cameras through the maturity of trees and shrubs.
- H64. Fencing, if applicable, shall be of decorative tubular steel, no climb type and a minimum of 6' in height.
- H65. Height markers are required on the interior doorway.
- H66. Cash registers shall be oriented in such a manner that employees are facing towards the main entrance and fueling area during sales.
- H67. Business shall be equipped with and maintain a security system with:

An alarm system with a valid UL Certificate in accordance with ANSI/UL Standard 681-2014 (Standard for Installation and Classification of Burglar and Holdup Alarm), **Extent Number 4**

Holdup alarm system shall be employed near the:

- all points of sale
- safe(s)

- H68. A Video Assessment and Surveillance System (VASS) shall be installed at the site and maintained by a property management company, security company, or designee.
- H69. Manager with access to VASS storage shall be able to respond to any activation within two hours.
- H70. Cameras shall be day/night capable with a resolution of no less than two (2) megapixels and a minimum frame rate of 15 frames per second.
- H71. Each driveway entrance and exit and each building entrance and exit shall be

covered by a camera set at 100 pixels per foot or higher to capture license plates and faces.

H72. VASS shall be capable of exporting footage to common media in a standard viewing format and shall not require proprietary software for third party viewing.

H73. VASS shall be capable of storing no less than 60 days' worth of activity.

H74. VASS shall provide comprehensive coverage of:

- a. manager's office
- b. areas of ingress and egress (doors, driveways)
- c. alcohol placement areas
- d. coverage of all four (4) exterior sides of the property
- e. parking lot
- f. fueling area
- g. adjacent public rights of way
- h. trash enclosure(s)
- i. areas not clearly visible from public streets
- j. car-wash drive thru to capture faces and license plates
- k. main entrance to capture faces upon entry

H75. No more than 10 percent of the square footage of windows and clear doors for retail purposes shall be blocked by advertising, signs, shelves or anything else. All advertising, signs, and shelving shall be placed and maintained in a manner that ensures that law enforcement personnel have a clear and unobstructed view of the interior of the premises from the exterior public sidewalk or entrance to the premises. All signs shall comply with the City Code.

H76. All dumpsters shall be kept locked or in locked enclosures. **Gating for dumpster enclosures shall be slatted to allow visual surveillance of the interior.**

H77. Exterior trash receptacles shall be of a design to prevent unauthorized removal of

articles from the trash bin.

- H78. Any graffiti painted or marked upon the premises or on any adjacent area under the control of the applicant shall be removed or painted over with matching paint within 72 hours of being applied.
- H79. Property management shall be responsible for the daily removal of all litter from the site.
- H80. The applicant shall enclose the entire perimeter of the project with a chain link fence with necessary construction gates to be locked after normal construction hours.
- H81. The location shall be monitored by security after normal construction hours during all phases of construction.
- H82. Adequate security lighting shall be provided to illuminate vulnerable equipment and materials. Lighting shall be white light with full cut off fixtures.

## **SMUD**

- H83. SMUD has existing and planned overhead 12/69kV facilities along Elder Creek Rd. that will need to remain. The Applicant shall be responsible for maintaining all CalOSHA and State of California Public Utilities Commission General Order No. 95 safety clearances during construction and upon building completion. If the required clearances cannot be maintained, the Applicant shall be responsible for the cost of relocation.
- H84. SMUD has existing underground 12kV facilities Elder Creek Rd., Turner Rd., and on the project parcel that will need to remain. The Applicant shall be responsible for maintaining all CalOSHA and State of California Public Utilities Commission General Order No. 128 safety clearances during construction and upon building completion. If the required clearances cannot be maintained, the Applicant shall be responsible for the cost of relocation.
- H85. Any necessary future SMUD facilities located on the Applicant's property shall require a dedicated SMUD easement. This will be determined prior to SMUD performing work on the Applicant's property.
- H86. In the event the Applicant requires the relocation or removal of existing SMUD facilities on or adjacent to the subject property, the Applicant shall coordinate with SMUD. The Applicant shall be responsible for the cost of relocation or removal.
- H87. SMUD reserves the right to use any portion of its easements on or adjacent to the

- subject property that it reasonably needs and shall not be responsible for any damages to the developed property within said easement that unreasonably interferes with those needs.
- H88. The Applicant shall not place any building foundations within 5-feet of any SMUD trench to maintain adequate trench integrity. The Applicant shall verify specific clearance requirements for other utilities (e.g., Gas, Telephone, etc.).
- H89. In the event the City requires an Irrevocable Offer of Dedication (IOD) for future roadway improvements, the Applicant shall dedicate a 12.5-foot public utility easement (PUE) for overhead and/or underground facilities and appurtenances adjacent to the City's IOD.
- H90. The Applicant shall comply with SMUD siting requirements (e.g., panel size/location, clearances from SMUD equipment, transformer location, service conductors). Information regarding SMUD siting requirements can be found at: <https://www.smud.org/en/Business-Solutions-and-Rebates/Design-and-Construction-Services>
- H91. The Applicant shall dedicate a 20-foot public utility easement for overhead and/or underground facilities and appurtenances adjacent to all public street rights-of-ways as depicted in the project plans.
- H92. The Applicant shall dedicate any private drive, ingress and egress easement, (and 10-feet adjacent thereto) as a public utility easement for (overhead and) underground facilities and appurtenances. All access roads shall meet minimum SMUD requirements for access roads.
- H93. The Applicant shall dedicate and provide all-weather vehicular access for service vehicles that are up to 26,000 pounds. At a minimum: (a) the drivable surface shall be 20-feet wide; and (b) all SMUD underground equipment and appurtenances shall be within 15-feet from the drivable surface.
- H94. The Applicant shall dedicate a 20-foot PUE for future 69 kV route and any necessary relocated facilities. Associated future overhead 69 kV will be installed along the north side of Elder Creek Rd.

## **SASD**

- H95. Prior to the APPROVAL OF IMPROVEMENT PLANS: To obtain sewer service, construction of SASD sewer infrastructure will be required. Current SASD Standards and Specifications apply to any offsite or onsite public sewer construction or modification. These improvements must be shown on the plans. Field modifications to new or existing precast manhole bases are not allowed.

- H96. Prior to the APPROVAL OF IMPROVEMENT PLANS: SASD requires each building on each lot with a sewage source to have a separate connection to SASD's sewer system. If there is more than one building in any single parcel and the parcel is not proposed for split, then each building on that parcel must have a separate connection to a private onsite sewer line or a separate connection to the SASD public sewer line. These improvements must be shown on the plans.
- H97. Prior to the APPROVAL OF IMPROVEMENT PLANS: The applicant is responsible for installing collector sized sewer pipeline and appurtenances across the parcel frontage on Turner Road as a condition of approval. The applicant is responsible for installing trunk sized sewer pipeline and appurtenances across the parcel frontage on Elder Creek Road as a condition of approval. These improvements on must be shown on the plans.
- H98. Prior to the APPROVAL OF IMPROVEMENT PLANS: Each owner is responsible for installing collector sized sewer pipeline and appurtenances across the parcel frontage as a condition of approval. These improvements on Turner Road must be shown on the plans.
- H99. Prior to the APPROVAL OF IMPROVEMENT PLANS: Alignment of all main lines and structures must provide a minimum of 1 foot vertical clearance and 5 feet horizontal clearance from all other utilities and improvements. Sewer is to be located a minimum of 10 feet (measured horizontally) from any structure or footing. Show public sanitary sewer and water supply facilities in accordance with the Health and Safety Code.
- H100. Prior to the APPROVAL OF IMPROVEMENT PLANS: Alignment of all main lines and structures must provide a minimum of 1 foot vertical clearance and 5 feet horizontal clearance from all other utilities and improvements. Sewer is to be located a minimum of 10 feet (measured horizontally) from any structure or footing. Show public sanitary sewer and water supply facilities in accordance with the Health and Safety Code.
- H101. Prior to the ISSUANCE OF A BUILDING PERMIT: The owner must contact Permit Services Unit at [PermitServices@sacsewer.com](mailto:PermitServices@sacsewer.com) or by phone at (916) 876-6100 to determine if Regional San sewer impact fees are due. Fees are to be paid prior to the issuance of building permits.

## REGIONAL SAN

H102. Developing this property will require the payment of Regional San sewer impact fees (connection fees). Regional San sewer impact fees shall be paid prior to the issuance of building permits. For questions pertaining to Regional San sewer impact fees, please contact the Sewer Fee Quote Desk at (916) 876-6100.

H103. Regional San has the 102" Central Interceptor (Regional San operating system N21) located within the proposed project's boundaries. Direct connections to this facility will not be allowed.

### **Advisories:**

H104. Timing and Installation. When fire protection, including fire apparatus access roads and water supplies for fire protection, is required to be installed, such protection shall be installed and made serviceable prior to and during the time of construction. CFC 501.4 (Fire)

H105. Provide a water flow test. (Make arrangements at the Permit Center walk-in counter: 300 Richards Blvd, Sacramento, CA 95814). CFC 507.4 (Fire)

H106. Provide appropriate Knox access for site. CFC Section 506 (Fire)

H107. An approved fire control room shall be provided for all buildings protected by an automatic fire extinguishing system. The room shall contain all system control valves, fire alarm control panels and other fire equipment required by the Fire Code Official. Fire Control rooms shall be located within the building at a location approved by the Fire Code Official, and shall be provided with a means to access the room directly from the exterior. Durable signage shall be provided on the exterior side of the access door to identify the fire control room. Fire Control rooms shall not be less than 50 square feet for rooms without a fire pump and 200 square feet when a fire pump is present. CFC Amendments 901.4.7 (Fire)

H108. The proposed development is located within Sacramento Area Sewer District (SASD). Satisfy all SASD requirements. (Utilities)

H109. Water meters shall be located at the point of service, which is back of curb for separated sidewalks or back of walk for connected sidewalks. (Utilities)

H110. The proposed project is located in a Zone X on the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Maps (FIRMs). Accordingly, the project site lies in an area with no requirements to elevate or flood proof. (Utilities)

H111. City of Sacramento permits must be obtained for private patrol, alarms, and camera systems. (Police)

H112. As per City Code, the applicant will be responsible to meet his/her obligations regarding:

- a. Title 18, 18.56 Park Development Impact Fee, due at the time of issuance of building permit. The Park Development Impact Fee for this project is estimated at \$2,325. The Park Development Impact Fee due for this project is based on the Remainder City Zone Rate of \$0.47 per square foot for commercial services projects. Any change in these factors will change the amount of the PIF due. The fee is calculated using factors at the time that the project is submitted for building permit. (Parks)

H113. The Sacramento Area Sewer District (SASD) is responsible for providing local sewer service to the proposed project site via their local sanitary sewer collection system. Regional San is responsible for the conveyance of wastewater from the SASD collection system to the Sacramento Regional Wastewater Treatment Plant (SRWTP). SASD will respond via separate correspondence. (Regional San)

H114. Effective January 1, 2020, California Building Energy Efficiency Standards Title 24 (“CalGreen” Building Code) standards require that, for newly-constructed non-residential development with 10 to 25 parking spaces, one of the parking spaces are “EV Capable,” with installed conduit and panel capacity for an electric vehicle charging station. (SMAQMD)

H115. Gasoline dispensing facilities (GDFs) are required to obtain an Authority to Construct and Permit to Operate from the Sac Metro Air District. The installation of a California Air Resources Board certified vapor recovery system is also required. The Sac Metro Air District will conduct a health risk assessment for the GDF which may limit the gasoline throughput to meet allowable health risk levels. For GDF application instructions and forms visit: <http://www.airquality.org/businesses/permits-registration-programs/permit-applications-recordkeeping-advisories/gasoline-dipsensing-facility>. If you have any questions on GDFs, contact Steve Mosunic at 916-874-4874 or [smosunic@airquality.org](mailto:smosunic@airquality.org). (SMAQMD)



H116. All projects are subject to Sac Metro Air District rules in effect at the time of construction and any construction project, regardless of the size, is required to implement the Sac Metro Air District's Basic Construction Emission Control Practices. The Basic Construction Emission Control Practices and the Rules & Regulations Statement are attached for your reference. A complete listing of current rules is available at [www.airquality.org](http://www.airquality.org) or by calling 916-874-4800. (SMAQMD)

H117. ONGOING: SASD Design Standards and Specifications require minimum 6-inch lower laterals for commercial and industrial buildings. (SASD)

H118. ONGOING: Construction of a grease trap or a sand oil separator may be required. The applicant must verify with the applicable jurisdiction's building department. (SASD)

H119. ONGOING: If the proposed garbage enclosure will contain a drain to the sewer, it must be covered. (SASD)

**TABLE OF CONTENTS:**

Exhibit A – Project Plans


Adopted by the City of Sacramento City Council on May 23, 2023, by the following vote:

Ayes: Members Guerra, Jennings, Kaplan, Maple, Loloee, Talamantes, Vang, and Mayor Steinberg

Noes: None

Abstain: None

Absent: Member Valenzuela

Attest:  05/31/2023  
Mindy Cuppy, City Clerk

*The presence of an electronic signature certifies that the foregoing is a true and correct copy as approved by the Sacramento City Council.*

# 7 ELEVEN

## NEC S. WATT AVE. & ELDER CREEK RD. SACRAMENTO, CA 95829

author



1514 Woodburn Ave.  
Phone: 987.231.8247

CWM/RT



7 ELEVEN, CA  
NEC S. WATT AVE. &  
ELDER CREEK RD.  
SACRAMENTO, CA 95829

DATE: 04/20/2022  
SCALE: 1/8" = 1'-0"  
SHEET NO: 25 OF 54  
PROJECT NO: 2023-0151  
DATE: 04/20/2023



TITLE SHEET

T1.0  
page 25 of 54

### PROJECT TEAM

**OWNER:** MARK TEIN  
**ARCHITECT:** IGNISIO STUDIO  
**CONTRACTOR:** CANTONIA COMMERCIAL MARK TEIN  
**CONTACT:** 2000 SHERIDAN BLVD, SUITE 100, SACRAMENTO, CA 95834

**GENERAL CONTRACTOR:** MARY KAY BUILDERS  
**ADDRESS:** 1514 WOODBURN AVE., SACRAMENTO, CA 95829  
**CONTACT:** TONY VA, PROJECT MANAGER

### DEFERRED SUBMITTALS

26. MECHANICAL, ELECTRICAL AND PLUMBING PLANS ARE UNDER A SEPARATE PERMIT AND SEPARATE PLAN CHECK SUBMITTAL (IF PLANS ARE REQUIRED).

27. THE CONSTRUCTION CONTRACT SHALL BE SIGNED BY THE GENERAL CONTRACTOR AND THE OWNER. THE CONTRACT SHALL BE SIGNED BY THE GENERAL CONTRACTOR AND THE OWNER. THE CONTRACT SHALL BE SIGNED BY THE GENERAL CONTRACTOR AND THE OWNER.

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### PROJECT DATA

NO. 1  
002-0000-533

SITE AREA: 1.81 AC

SETBACKS: 0' 0'  
0' 5' EF.  
3' 0' 1st.  
5' 0' 2nd.  
5' 0' 3rd.  
5' 0' 4th.

CP: 1.03 SF.  
TOTAL BUILDING AREA: 5,225 SF.  
CONTRACTOR: 1,398 AC-SF.

COST ESTIMATE: 1,398 AC-SF.

CONTRACTOR: 1,398 AC-SF.

CONTRACTOR: 1,398 AC-SF.

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### CODE DATA

CONTRACTOR: 2019 CALIFORNIA BUILDING CODE (CBC)

CONTRACTOR: 2019 CALIFORNIA ELECTRICAL CODE (CEC)

CONTRACTOR: 2019 CALIFORNIA MECHANICAL CODE (CMC)

CONTRACTOR: 2019 CALIFORNIA FIRE CODE (FC)

CONTRACTOR: 2019 CALIFORNIA MECHANICAL CODE (CMC)

CONTRACTOR: 2019 CALIFORNIA FIRE CODE (FC)

### ALLOWABLE OCCUPANT LOAD

AREA	AREA (SQ FT)	APPLICABLE CODE	OCCUPANTS
REAR DECK	3,270	106.10.2	60
STAIR	168.3	106.10.3	20
HALLWAY	260.0005	106.10.4	20
RESTROOM	168.3	106.10.5	20
OFFICE	90	106.10.6	20
RESTROOM	168.3	106.10.7	20
REAR DECK	3,270	106.10.8	60
STAIR	168.3	106.10.9	20
HALLWAY	260.0005	106.10.10	20
RESTROOM	168.3	106.10.11	20
OFFICE	90	106.10.12	20
RESTROOM	168.3	106.10.13	20
REAR DECK	3,270	106.10.14	60
STAIR	168.3	106.10.15	20
HALLWAY	260.0005	106.10.16	20
RESTROOM	168.3	106.10.17	20
OFFICE	90	106.10.18	20
RESTROOM	168.3	106.10.19	20

### REQUIRED EXIT WIDTH (ALTERNATIVE CODE) = 10"

NUMBER OF EXITS PROVIDED: 2

PARK PLANNING AND DEVELOPMENT SERVICES ADVISORY NOTES

1. AS PER CITY CODE, THE APPLICANT WILL BE RESPONSIBLE TO MEET HIS/HER OBLIGATIONS REGARDING:
2. TITLE 18, 18.06 PARK DEVELOPMENT IMPACT FEE, DUE AT THE TIME OF ISSUANCE OF BUILDING PERMIT. THE PARK DEVELOPMENT IMPACT FEE IS BASED ON THE GROSS FLOOR AREA OF THE DEVELOPMENT AND IS SUBJECT TO CHANGE BASED ON THE DEVELOPMENT IMPACT FEE SCHEDULE.
3. THE CITY ENGINEER'S OFFICE WILL CONDUCT VISUAL QUALITY ANALYSIS AND CALCULATE VISUAL QUALITY IMPACT FEE SCHEDULE.
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5. THE CITY ENGINEER'S OFFICE WILL CONDUCT VISUAL QUALITY ANALYSIS AND CALCULATE VISUAL QUALITY IMPACT FEE SCHEDULE.

### SURROUNDING BUSINESS MAP

Map showing surrounding streets and landmarks. The project site is highlighted with a red dot and labeled 'SITE'.

REQUIRED EXIT WIDTH (ALTERNATIVE CODE) = 10"  
NUMBER OF EXITS PROVIDED: 2

WORKER: 116 PLUMBING OCCUPANTS

REQUIRED EXIT WIDTH (ALTERNATIVE CODE) = 10"  
NUMBER OF EXITS PROVIDED: 2

PROVIDED EXIT WIDTH PER 2019 CBC

WORKER: 116 PLUMBING OCCUPANTS

REQUIRED EXIT WIDTH (ALTERNATIVE CODE) = 10"  
NUMBER OF EXITS PROVIDED: 2

REAR DECK: 3,270 SQ FT

STAIR: 168.3 SQ FT

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71-001	04/22/2022	01/12/2021	94010222
DESIGNER	DATE	PLANNING #	PLANNING #2
IGNISIO STUDIOS	04/22/2022	01/12/2021	94010222
PROJECT	DATE	PLANNING #	PLANNING #2
7 ELEVEN, CA	04/22/2022	01/12/2021	94010222

DESIGNED BY	CHECKED BY
IGNISIO STUDIOS	IGNISIO STUDIOS
DATE	DATE
04/22/2022	01/12/2021



**PARK PLANNING AND DEVELOPMENT SERVICES ADVISORY NOTES:**  
1. AS PER CITY CODE, THE APPLICANT WILL BE RESPONSIBLE TO MEET THE/OVER OBLIGATIONS REPAIRS.

2. TITLE 18, LOCAL PARK DEVELOPMENT IMPACT FEE: DUE AT THE TIME OF SUBMISSION OF BUILDING PERMITS. THE CITY OF SACRAMENTO HAS A POLICY OF IMPACT FEES TO COVER THE COST OF THE PARK DEVELOPMENT IMPACT FEE. THE CITY OF SACRAMENTO HAS A POLICY OF IMPACT FEES TO COVER THE COST OF THE PARK DEVELOPMENT IMPACT FEE. THE CITY OF SACRAMENTO HAS A POLICY OF IMPACT FEES TO COVER THE COST OF THE PARK DEVELOPMENT IMPACT FEE.

**REGIONAL SAN ADVISORY NOTES:**  
1. REGIONAL SANITARY ENGINEER (RSE) IS RESPONSIBLE FOR PROVIDING LOCAL RSE SERVICE TO THE PROPOSED PROJECT SITE VIA THE LOCAL SANITARY SEWER COLLECTION SYSTEM. THE PROPOSED PROJECT SITE IS LOCATED WITHIN THE REGIONAL SANITARY SEWER COLLECTION SYSTEM. THE PROPOSED PROJECT SITE IS LOCATED WITHIN THE REGIONAL SANITARY SEWER COLLECTION SYSTEM.

**REGIONAL SAN CONDITION NOTES:**  
1. REGIONAL SAN HAS THE LZZ CONTROL INTERCEPTOR (REGIONAL SAN GROUNDING SYSTEM N21) LOCATED WITHIN THE REGIONAL SANITARY SEWER COLLECTION SYSTEM. THE PROPOSED PROJECT SITE IS LOCATED WITHIN THE REGIONAL SANITARY SEWER COLLECTION SYSTEM.

**DEVELOPER NOTES:**  
1. DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND JURISDICTIONS. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND JURISDICTIONS.

**CONSTRUCTION NOTES:**  
1. PRIOR TO THE APPROVAL OF IMPROVEMENT PLANS TO OBTAIN OTHER SERVICES, CONSTRUCTION OF SANITARY INFRASTRUCTURE WILL BE REQUIRED, CURRENT SASD STANDARDS AND MODIFICATIONS. THESE IMPROVEMENTS MUST BE SHOWN ON THE PLANS FIELD MODIFICATIONS TO NEW OR EXISTING PRECAST MANHOLE BUILDS ARE NOT ALLOWED.

**GENERAL NOTES:**  
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF SACRAMENTO'S GRADING, EROSION AND SEDIMENT CONTROL ORDINANCES. THE ORDINANCES REQUIRE THE APPLICANT TO SHOW EROSION AND SEDIMENT CONTROL MEASURES TO PREVENT EROSION AND SEDIMENTATION FROM OCCURRING ON THE PROJECT SITE DURING CONSTRUCTION.

**POST CONSTRUCTION (PERMANENT) STORMWATER QUALITY CONTROL MEASURES SHALL BE MAINTAINED AND MAINTENANCE SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF SACRAMENTO'S STORMWATER QUALITY CONTROL ORDINANCES. THE APPLICANT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND JURISDICTIONS.**

**WATER METERS SHALL BE LOCATED AT THE POINT OF SERVICE, WHICH IS BACK OF CURB FOR SPRAWLED SIDEWALKS OR BACK OF WALK FOR CONNECTED SIDEWALKS. WATER METERS SHALL BE LOCATED AT THE POINT OF SERVICE, WHICH IS BACK OF CURB FOR SPRAWLED SIDEWALKS OR BACK OF WALK FOR CONNECTED SIDEWALKS.**

**FOR CITY CODE SECTION 13.0A.010, MULTIPLE WATER SERVICE TO A SINGLE LOT OR PARCEL (WATER SERVICE TO MULTIPLE UNITS) IS PERMITTED. THE APPLICANT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND JURISDICTIONS.**

**TWO POINTS OF SERVICE FOR THE PUBLIC WATER DISTRIBUTION SYSTEM FOR THIS DEVELOPMENT. THE APPLICANT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND JURISDICTIONS.**

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1514 Woodburn Ave.  
 Sacramento, CA 95825  
 Phone: 916.231.8247



**7 ELEVEN, CA**  
 SACRAMENTO, CA  
 NEC S. WATT AVE. &  
 ELDER CREEK RD.  
 SACRAMENTO, CA 95829

711-001  
 DESIGNER: 04/02/2022  
 DATE: 04/02/2022  
 PROJECT: 711-001  
 SHEET: 01  
 DRAWN BY: JMM/XXX/XXX  
 CHECKED BY: JMM/XXX/XXX  
 REVISIONS:  
 1. 04/02/2022  
 2. 04/02/2022

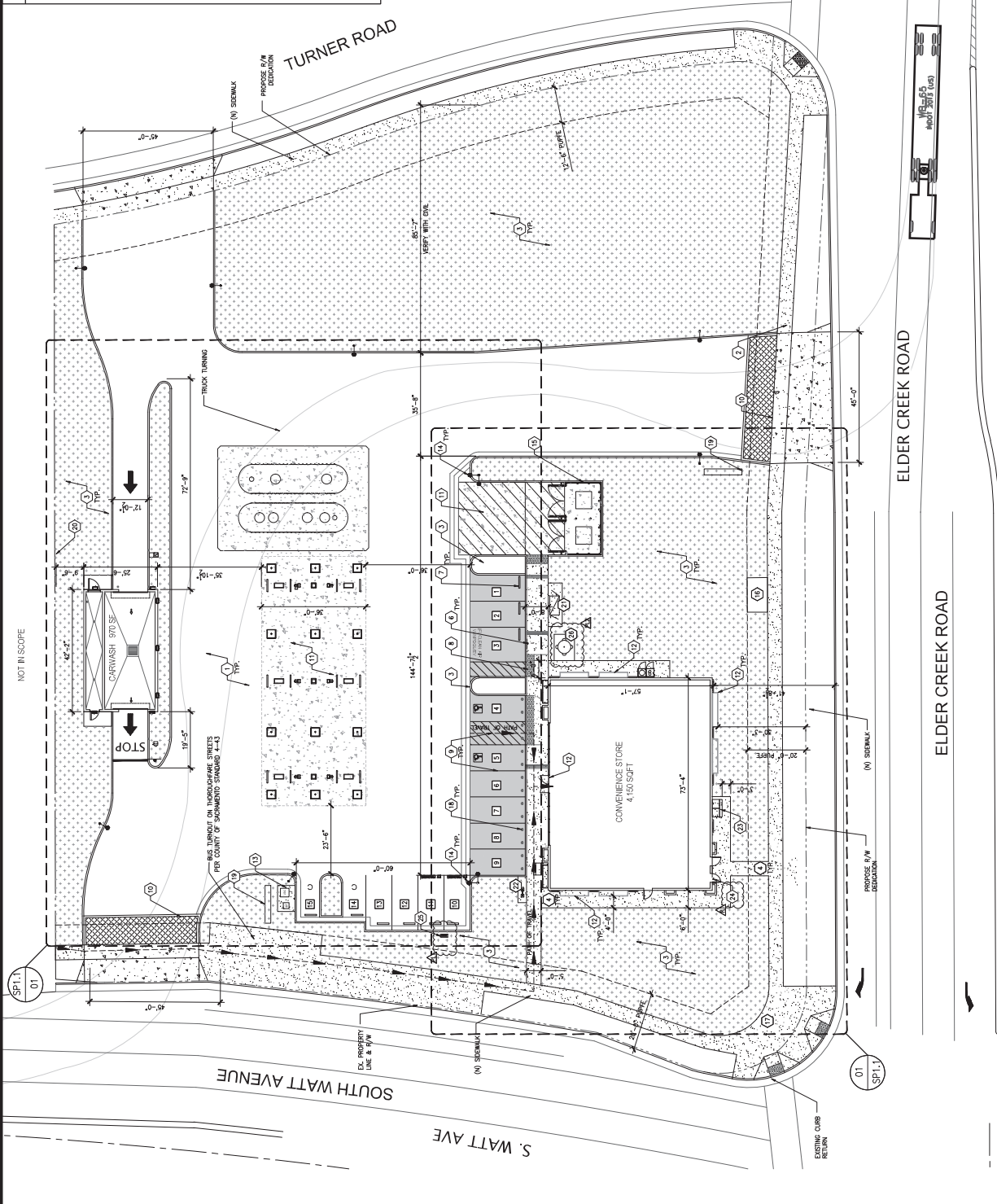


**SP1.0**  
 Page 27 of 54  
 SITE PLAN  
 SHEET INFO

**KEY NOTES**

- 1 ASPHALT PAVEMENT
- 2 ACCESSIBLE DRIVE SURFACE, SEE DETAIL 779PT3
- 3 LANDSCAPE & BROADWAY AREA - SEE LANDSCAPE DRAWINGS
- 4 PATH OF TRAVEL TO PUBLIC RIGHT OF WAY
- 5 MAIN ENTRY
- 6 ACCESSIBLE PARKING SPALL WITH STRIPE, SEE DETAIL 779PT3
- 7 PRECAST CONCRETE WHEEL-STOP, SEE DETAIL 779PT3
- 8 SIDEWALK RAMP WITH TRIMMED DOMES, SEE DETAIL 779PT3
- 9 PAINTED PARKING STRIPING PER CITY STANDARDS
- 10 NEW DECORATIVE STAMPED PAVING
- 11 CONCRETE PAVING
- 12 PLANTER
- 13 AIR AND VACUUM
- 14 SITE LIGHTING
- 15 TRASH ENCLOSURE, SEE 779PT4
- 16 ELECTRICAL TRANSFORMER
- 17 LANDSCAPE FEATURE, SEE LANDSCAPE DRAWINGS
- 18 CONCRETE BOLLARD
- 19 MONUMENT SIGN
- 20 EXISTING FENCE TO REMAIN
- 21 LONG TERM BIKE PARKING
- 22 SHORT TERM BIKE PARKING
- 23 ELECTRICAL SWITCH GEAR
- 24 KNOX BOX LOCATION
- 25 BIKE CHANGING STATION AND PARKING
- 26 OUTDOOR ROUND TABLE AND CHAIR W/ UMBRELLA

ACCESSIBLE ROUTE COMPONENTS INCLUDE BUT ARE NOT LIMITED TO:  
 • AT LEAST 48" IN WIDTH OR AS APPROVED BY CODE, BEYOND  
 • AT LEAST 12" MINIMUM SLOPE, OR VERTICAL LEVEL CHANGES  
 • WITH A TRIP SURFACE, AND SLIP RESISTANT WALKING SURFACE;  
 • WITH A FINISH GRADE OF 1/4" PER FOOT, WITH A MINIMUM OF 1/8"  
 • WITH A FINISH GRADE OF 1/4" PER FOOT, WITH A MINIMUM OF 1/8"  
 • WITH A FINISH GRADE OF 1/4" PER FOOT, WITH A MINIMUM OF 1/8"  
 • WITH A FINISH GRADE OF 1/4" PER FOOT, WITH A MINIMUM OF 1/8"  
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 • WITH A FINISH GRADE OF 1/4" PER FOOT, WITH A MINIMUM OF 1/8"  
 • WITH A FINISH GRADE OF 1/4" PER FOOT, WITH A MINIMUM OF 1/8"



**01** OVERALL SITE PLAN  
 SCALE: 1/16"=1'-0"  
 NORTH

May 23, 2023

Resolution 2023-0151

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# ON-SITE IMPROVEMENT PLANS

## FOR PROPOSED SEVEN ELEVEN SITE

NEC S. WATT AVENUE & ELDER CREEK ROAD  
SACRAMENTO, CALIFORNIA

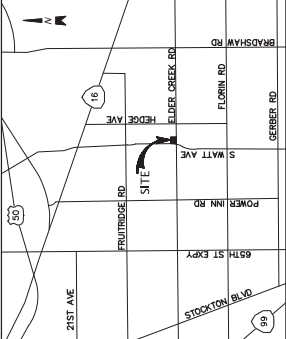
APRIL, 2022



REV	DESCRIPTION	DATE

### VICINITY MAP

N.T.S.



### SHEET INDEX

CIVIL	DESCRIPTION
CI	COVER SHEET
CU	TOPOGRAPHIC SURVEY
CS-1	DETAILED SEWING & STIRLING
CS-2	PRELIMINARY GRADING & DRAINAGE PLAN
CS-3	PRELIMINARY GRADING & DRAINAGE PLAN
CS-4	BUILDING ABUTMENT PLANS
CS-5	EROSION CONTROL PLANS
CS-6	
CS-7	
CS-8	

LANDSCAPE	DESCRIPTION
LI-1	LANDSCAPE PLANTING PLAN
LI-2	TRAIL REMOVAL PLAN
LI-3	LANDSCAPE IRRIGATION PLAN
LI-4	TRAIL REMOVAL PLAN
LI-5	LANDSCAPE SITE SPECIFICATIONS

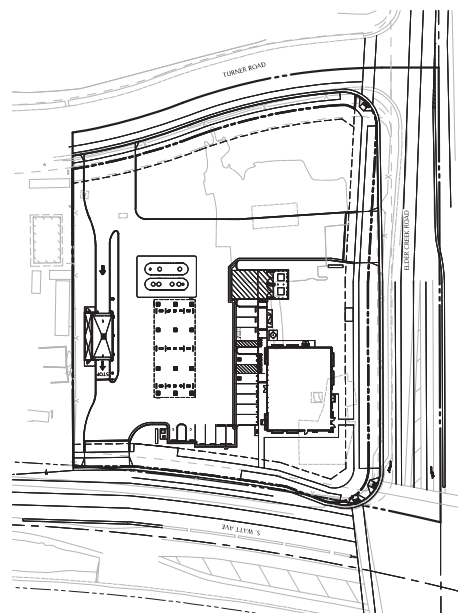
**CIVIL ENGINEER**  
KIER & WRIGHT CIVIL ENGINEERS & SURVEYORS, INC.  
2530 COLLETT CANYON RD  
SACRAMENTO, CA 95825  
916-442-6788

**BENCHMARK:**  
LIGHT RAIL MARK USE OF 88TH ST. AT 43RD AVENUE  
ELEVATION = 4630.161 (UNADJUSTED)

**BASIS OF BEARINGS:**  
THE BEARING OF SOUTH 89° 47' 17" TAKEN ON THE CENTER LINE OF ELDER CREEK ROAD TO A POINT OF BEGINNING OF CURVE IS THE BASIS FOR THE BEARINGS OF 1978. IN BOOK 48 OF PARCEL MAPS AT PAGE 3, OFFICIAL RECORDS OF SACRAMENTO COUNTY WAS TAKEN AS THE BASIS FOR ALL BEARINGS SHOWN HEREON.

### NOTICE TO CONTRACTORS

CONTRACTOR TO NOTIFY USA (UNDERGROUND SERVICE ALERT) AT 24 HOURS MINIMUM OF 24 HOURS BEFORE BEGINNING ANY WORK THAT MAY INTERFERE WITH THE LOCATION OF UNDERGROUND UTILITIES.



- LEGEND**
- EXISTING**
- ASPHALT DRIVE
  - ASPHALT DRIVE WITH CURB
  - CONCRETE DRIVE
  - CONCRETE DRIVE WITH CURB
  - CONCRETE DRIVE WITH CURB AND GUTTER
  - CONCRETE DRIVE WITH GUTTER
  - GRAVEL DRIVE
  - GRAVEL DRIVE WITH CURB
  - GRAVEL DRIVE WITH CURB AND GUTTER
  - GRAVEL DRIVE WITH GUTTER
  - GRAVEL DRIVE WITH GUTTER AND CURB
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- PROPOSED**
- GRAVEL DRIVE
  - GRAVEL DRIVE WITH CURB
  - GRAVEL DRIVE WITH CURB AND GUTTER
  - GRAVEL DRIVE WITH GUTTER
  - GRAVEL DRIVE WITH GUTTER AND CURB
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15441 Woodlawn Ave.  
Tustin, CA 92780  
Phone: 714.831.1647

**KIER+WRIGHT**  
Civil Engineers/Architects  
Professional Seal  
Kier + Wright  
15001 Woodlawn Ave., Suite 200  
Tustin, CA 92780  
Phone: 714.831.1647  
www.kierwright.com

DATE	DESCRIPTION

REVISIONS:

PROFESSIONAL STAMP

APPROVALS:

PROJECT TITLE:

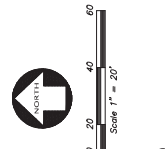
**NEC S. WATT AVE.  
&  
ELDER CREEK RD.**

SACRAMENTO, CA

SHEET TITLE:

**TOPOGRAPHIC  
SURVEY**

DATE:	SCALE:
APRIL, 2022	As Indicated
DRAWN BY:	CHECKED BY:
STAFF:	ZS
A19293	
SHEET NO.	



**LEGEND**

	SURVEY LINE
	BUILDING FOOTING WALL
	CONCRETE CORE & OUTER
	STREAM LINE
	ELEVATION OF POINT
	ELECTRIC LINE
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**Water Efficient Landscape Worksheet**

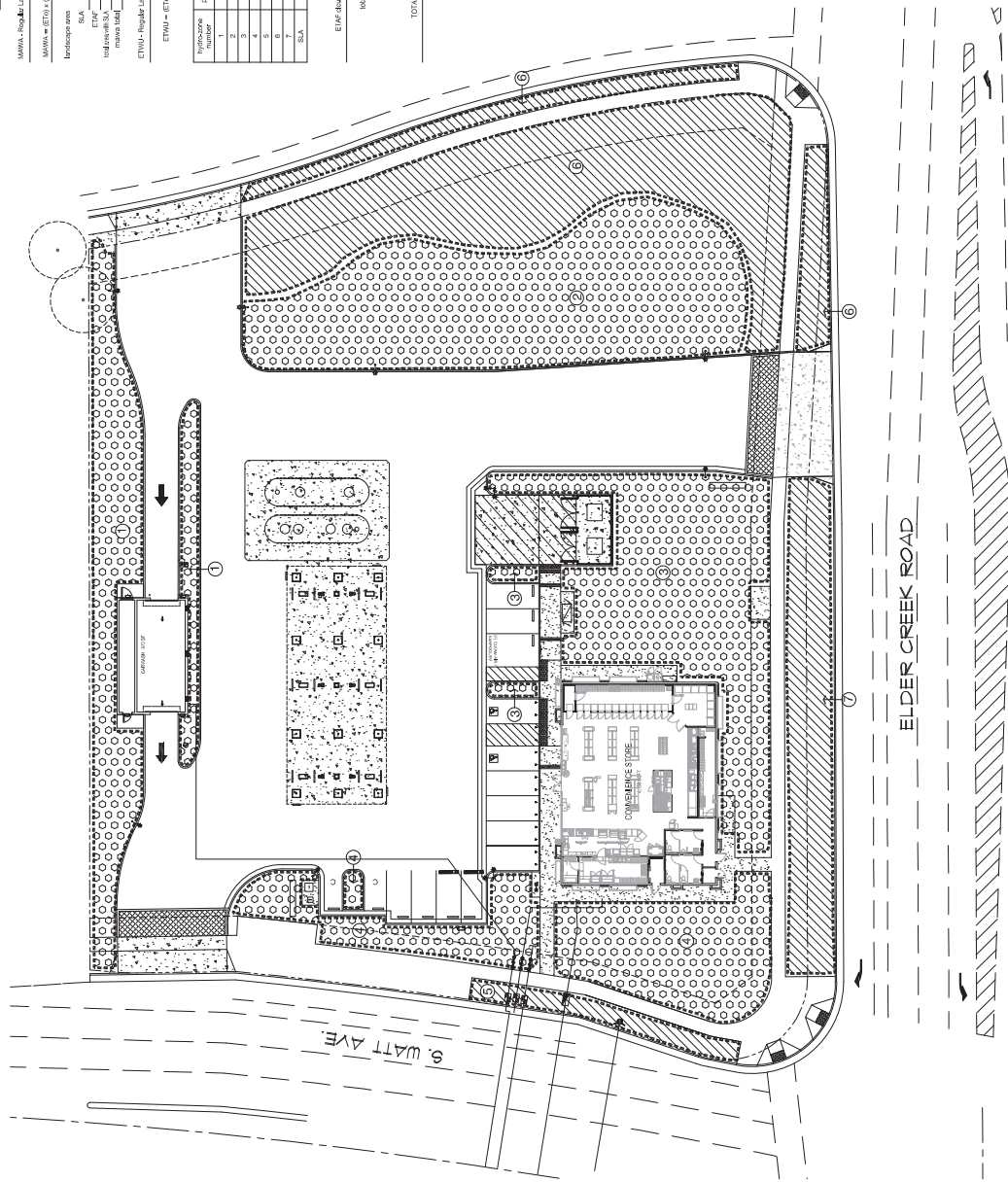
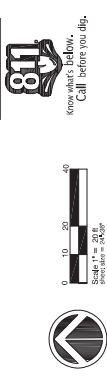
Reference: Irrigation Scheduling (ET<sub>0</sub>) = 51.9  
 MAVA = (ET<sub>0</sub> × 0.05) × (ET<sub>0</sub> × 1.5) = 1.14 ET<sub>0</sub> × SLA  
 Landscape Area = 36,739 sq. ft.  
 SLA = 0 sq. ft.  
 ET<sub>0</sub> = 0.05  
 MAVA Total = 592.274 gallons per year  
 ET<sub>0</sub> = (ET<sub>0</sub> × 0.05) × (ET<sub>0</sub> × 1.5) × SLA  
 ETWA = (ET<sub>0</sub> × 0.05) × (ET<sub>0</sub> × 1.5) × SLA

Hydrozone Number	Plant Water Use (ET <sub>0</sub> )	Irrigation Method	ET <sub>0</sub> (ET <sub>0</sub> )	Hydrozone Area	ETWA
1	Low	0.02	0.247	4,122	1,017.28
2	Low	0.02	0.247	7,874	1,968.9
3	Low	0.02	0.247	1,272	316.82
4	Low	0.02	0.247	5,135	1,272
5	Medium	0.05	0.617	1,298	320.001
6	Medium	0.05	0.617	5,325	1,328.228
7	Medium	0.05	0.617	1,400	352.274
8	High	0.05	0.617	1,400	352.274
SLA	—	—	—	0	0
TOTALS	—	—	—	36,739	4,561.967

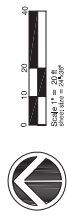
ETWA = (ET<sub>0</sub> × 0.05) × (ET<sub>0</sub> × 1.5) × SLA  
 MAVA Total = 592.274 gallons per year  
 ETWA Total = 4,561.967 gallons per year  
 Percentage reduction of Peak Irrigation Water = 14.0%

**IRRIGATION HYDRO-ZONE LEGEND**  
 PLANTS ARE GROUP TO HAVE MATCHING WATER REQUIREMENTS AND MICRO-CLIMATE CHARACTERISTICS

- HIGH WATER REQUIREMENT
- MEDIUM WATER REQUIREMENT
- LOW WATER REQUIREMENT (DROUGHT TOLERANT PLANTING)

811  
Know what's below.  
Call before you dig.



May 23, 2023

Resolution 2023-0151



15141 Woodman Ave.  
 Dublin, CA 94568  
 PH: 925.872.0447



KIER+WRIGHT  
 15151 Woodman Ave.  
 Dublin, CA 94568  
 PH: 925.872.0447

REV.	REVISIONS	DATE



RED ASSOCIATES  
 15151 Woodman Ave.  
 Dublin, CA 94568  
 PH: 925.872.0447



PROFESSIONAL SEAL

PROJECT TITLE:  
**NEC S. WATT AVE.  
 &  
 ELDER CREEK RD.**

SACRAMENTO, CA

Project Title:  
**Landscape Irrigation  
 Plan**

DATE	SCALE
04/22/23	1"=60'
DESIGNED BY:	BY
DRAWN BY:	BY
PROJECT NO.:	AL9553

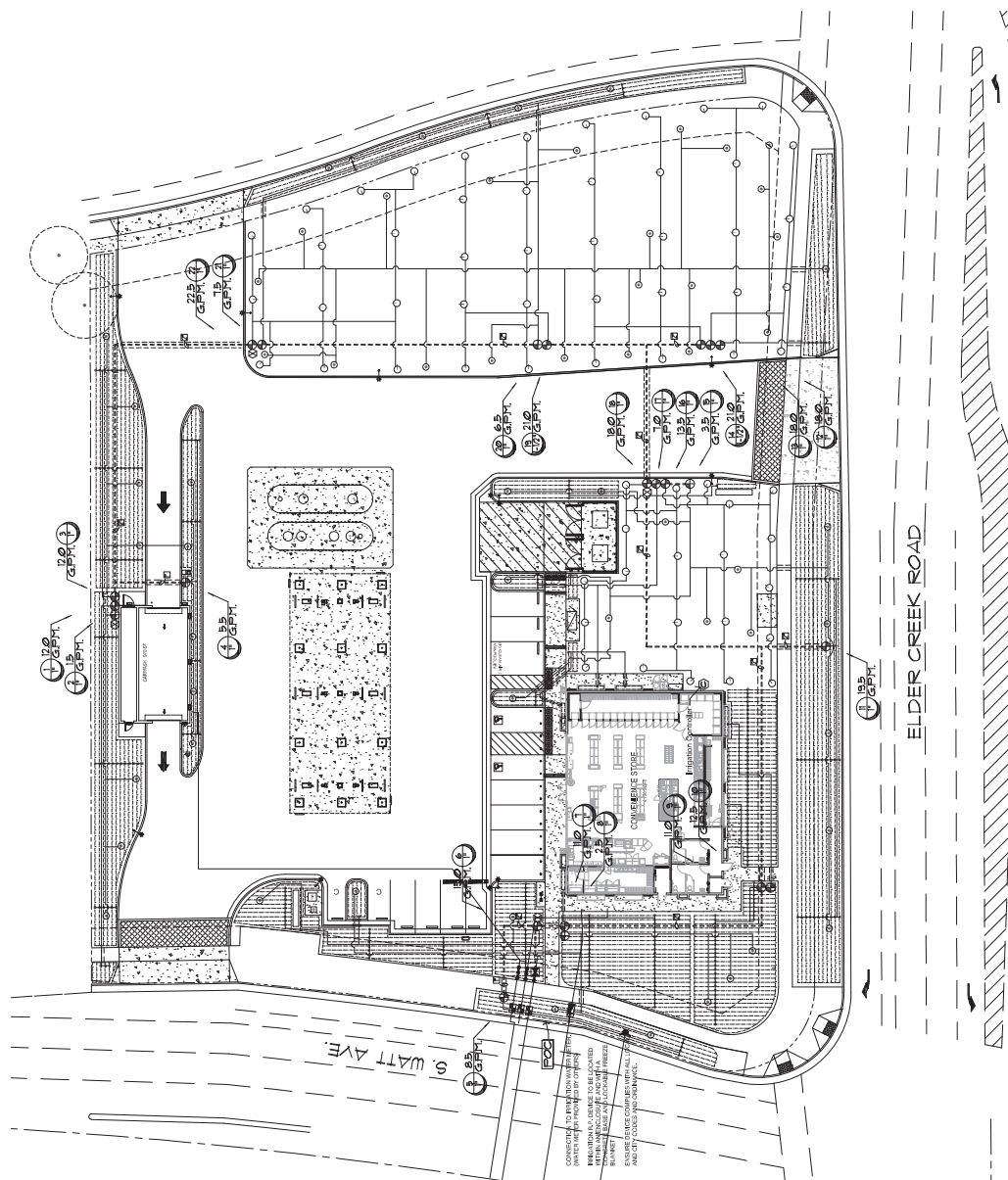
PROJECT NO.:

Page **12** of **64**

### IRRIGATION LEGEND

KEY	DESCRIPTION
1	POINT OF CONNECTION (CONNECT TO IRRIGATION WATER SYSTEM)
2	IRRIGATION WATER TRENCH TO BE INSTALLED AT THIS LOCATION
3	IRRIGATION WATER TRENCH TO BE INSTALLED AT THIS LOCATION (AS NOTED ON PLAN)
4	IRRIGATION WATER TRENCH TO BE INSTALLED AT THIS LOCATION (AS NOTED ON PLAN)
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100	IRRIGATION WATER TRENCH TO BE INSTALLED AT THIS LOCATION (AS NOTED ON PLAN)

- ### IRRIGATION NOTES
- SEE SPECIFICATION AND DETAIL SHEETS FOR ADDITIONAL INFORMATION.
  - NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY IN THE EVENT OF ANY DISCREPANCIES BETWEEN THE ACTUAL SITE CONDITIONS AND THIS PLAN.
  - THIS SYSTEM IS DESIGNED TO OPERATE WITH A STATIC WATER PRESSURE OF 70 PSI. VERIFY WATER PRESSURE PRIOR TO THE START OF CONSTRUCTION.
  - THIS PLAN IS DIAGRAMMATIC AND DOES NOT NECESSARILY INDICATE THE EXACT LOCATION OF ALL VALVES AND FITTINGS REQUIRED FOR A COMPLETE IRRIGATION SYSTEM.
  - LOCATE ALL SPRING IN PLANTING AREAS WHERE EVER POSSIBLE.
  - ADJUST ALL IRRIGATION HEADS TO INSURE PROPER COVERAGE AND AVOID EXCESSIVE OVERSPRAY.
  - COORDINATE AUTOMATIC CONTROLLER ELECTRICAL HOOK-UP WITH ELECTRICAL CONTRACTOR.
  - VERIFY THE LOCATION OF BACKFLOW PREVENTION ASSEMBLY WITH ALL LOCAL JURISDICTIONS, PRIOR TO INSTALLATION.
  - INSTALL CHECK VALVES AS REQUIRED TO PREVENT LOW-HEAD DRAINAGE.
  - DETECTOR TAPES SHOULD BE INSTALLED WITH ANY PRESSURE LINES NOT BURIED IN THE SAME TRENCH WITH CONTROL WIRES AND WITH ANY WIRES OF ANT AND UNDER PAVING NOT IN A TRENCH WITH CONTROL WIRES.
  - INSTALL TWO SPRINKLER CONTROL WIRES ALONG THE ENTIRE MAIN LINE AND OF A DIFFERENT COLOR THAN OTHER CONTROL WIRES. LOOP 3% SPRINKLER WIRES SHALL BE THE SAME COLOR (ONE WITH A WHITE STRIP) AND THE OTHER SHALL BE A DIFFERENT COLOR. WIRE LOOP 3% VALVE BOX IN EACH GROUP OF VALVES.
  - SUPPLEMENTAL "HAND" WATERING OF SWALE AREAS PLANTED WITH GRASS MAY BE NECESSARY IN WARM WEATHER TO ESTABLISH THE GRASS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING THE SCOPE OF WORK. DRY SOIL WILL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.



### IRRIGATION NOTES LEGEND

- MAXIMUM ALLOWABLE PRESSURE LOSS IS 15 PSI PER 100 FEET OF PIPE.
  - MAXIMUM ALLOWABLE VELOCITY IS 10 FPS FOR PROPER OPERATION OF FLOW METER.
  - 48 GAL/HR PER MINUTE MAXIMUM OPERATION FLOW FOR IRRIGATION SYSTEM.
- CLASS 315
- CONSTANT PRESSURE PIPING  
 2 INCHES AND LARGER
- INTERMITTENT PRESSURE LATERAL PIPING
- | PIPE SIZE | CONSTANT PRESSURE PIPING | INTERMITTENT PRESSURE LATERAL PIPING |
|-----------|--------------------------|--------------------------------------|
| 1/2"      | 0-4 GPM                  | 3-48 GPM                             |
| 3/4"      | 5-8 GPM                  | 49-65 GPM                            |
| 1"        | 9-15 GPM                 | 66-100 GPM                           |
| 1 1/4"    | 16-22 GPM                |                                      |
| 1 1/2"    | 23-30 GPM                |                                      |
| 2"        | 31-50 GPM                |                                      |

### DRIP IRRIGATION NOTES

- REFER TO DRIP IRRIGATION DETAILS FOR THE LAYOUT AND EXACT DIMENSIONS FOR THE DRIP LINE. THE DRIP LINE SHALL BE A MINIMUM OF 3" APART AND SPACED TO MATCH THE SPACING OF THE PLANTS. THE ACTUAL SPACING OF THE DRIP LINES SHOWN ON PLANS MAY NOT REFLECT THE ACTUAL SPACING OF THE DRIP LINES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL SPACING OF THE DRIP LINES AT THE FARTHEST DIMENSION FROM THE PAVEMENT SURFACE.
- THE SUPPLY, LEADER AND EXHAUST HEADERS, WHEN PVC, SHALL BE BURIED AT A MINIMUM OF 12" BELOW GRADE.
- INSTALL THE AUTOMATIC AIR RELEASE VALVE AT THE HIGHEST POINT ON EACH CIRCUIT OR AS DIRECTED BY THE PROJECT LANDSCAPE ARCHITECT.
- OPERATING PRESSURE FOR DRIP EMITTERS LINE IS 20 PSI (MIN) TO 40 PSI (MAX) PRIOR TO CONSTRUCTION.



May 23, 2023

Resolution 2023-0151





15141 Woodman Ave.  
Woodland Hills, CA 91367  
PH: 818.705.1247



Professional Engineer  
Civil and Mechanical  
No. 12842  
No. 12842

DATE	DESCRIPTION	BY	CHKD



Professional Engineer  
Civil and Mechanical  
No. 12842  
No. 12842



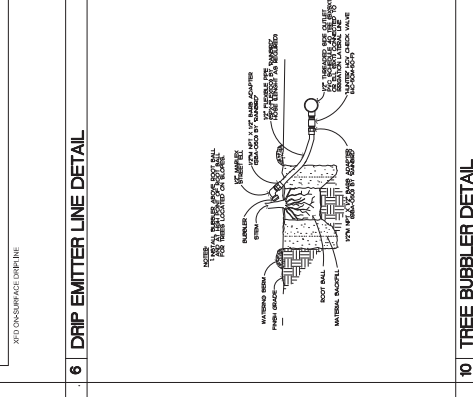
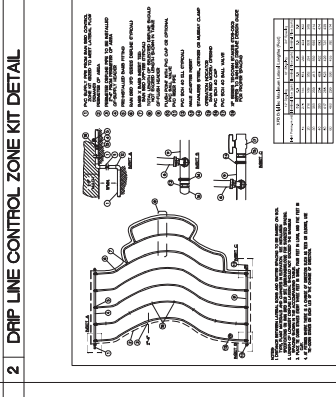
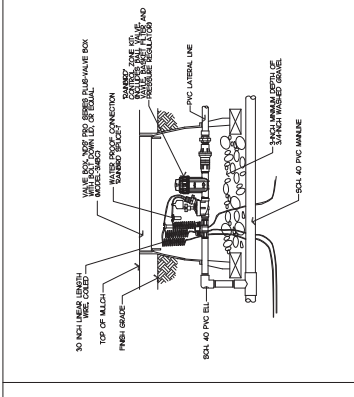
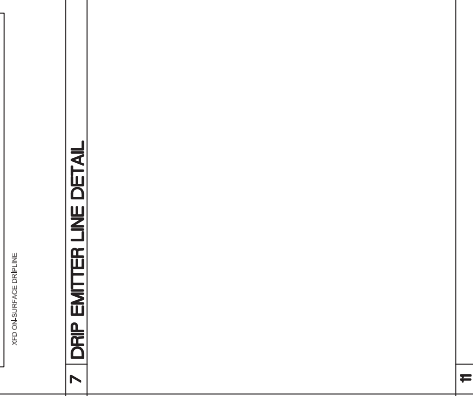
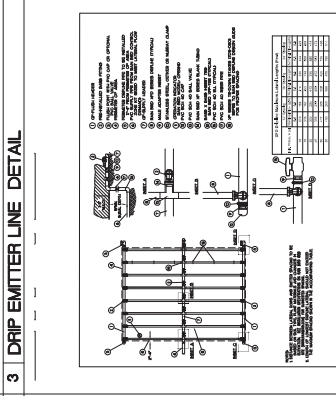
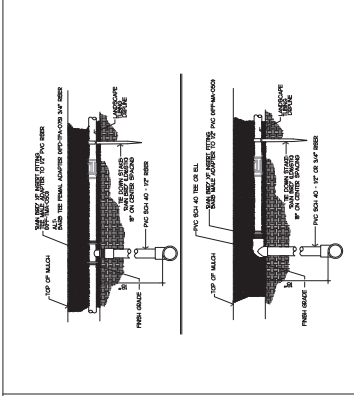
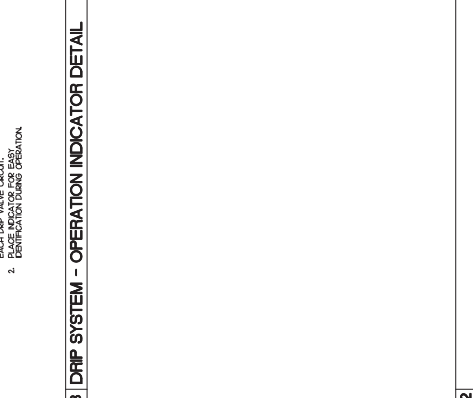
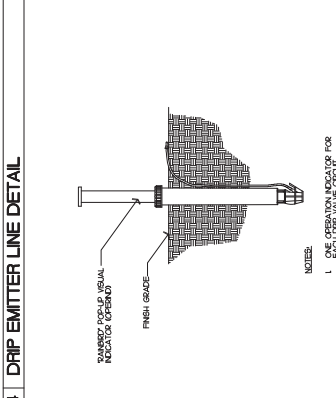
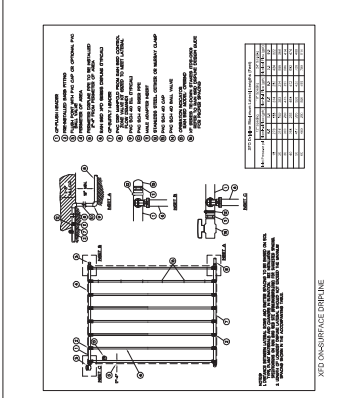
APPROVALS:

PROJECT TITLE:  
**NEC S. WATT AVE.  
 &  
 ELDER CREEK RD.**  
 SACRAMENTO, CA

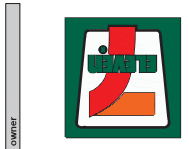
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**Tree Removal Plan**

DATE	SCALE
04/24/22	1/8" = 1'

SHEET NO.:

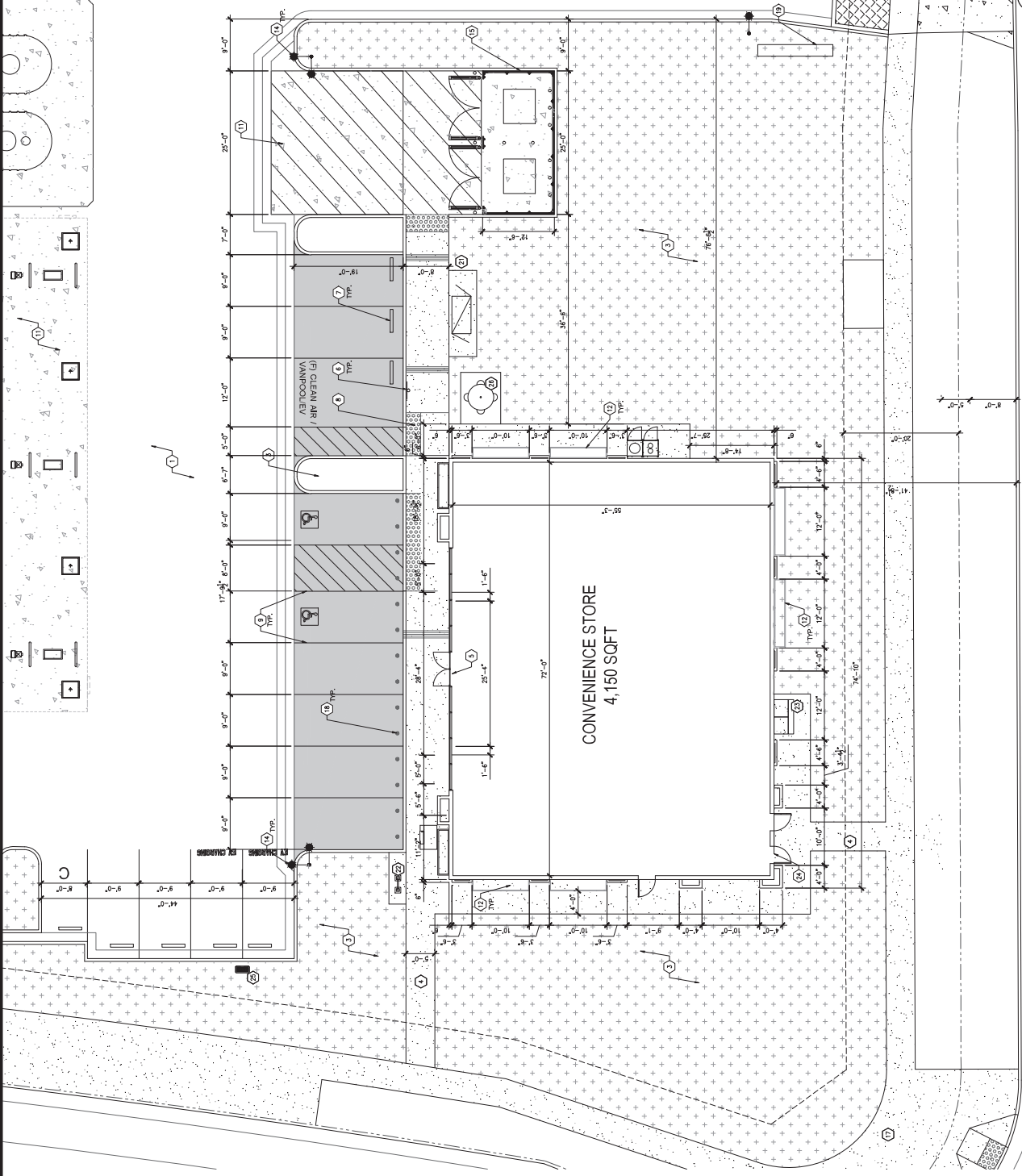






**KEY NOTES**

- 1 ASPHALT PAVEMENT
- 2 ACCESSIBLE ENTRY SLOPES, SEE DETAIL 1739T13
- 3 LANDSCAPE & IRRIGATION AREA - SEE LANDSCAPE DRAWINGS
- 4 PATH OF TRAVEL TO PUBLIC RIGHT OF WAY
- 5 MAIN ENTRY
- 6 ACCESSIBLE PARKING SPALL WITH SLOPES, SEE DETAIL 1739T13
- 7 PRECAST CONCRETE WHEEL-STOP, SEE DETAIL 1739T13
- 8 ASPHALT DRIVE DRIVEWAY, SEE DETAIL 1739T13
- 9 SEE DETAIL 1739T13
- 10 PAINTED PARKING STRIPING PER CITY STANDARDS
- 11 NEW DECORATIVE STAMPED PAVING
- 12 CONCRETE PAVING
- 13 PLANTER
- 14 AIR AND VACUUM
- 15 SITE LIGHTING, SEE 1739T14
- 16 TRASH ENCLOSURE, SEE 1739T14
- 17 NOT USED
- 18 LANDSCAPE FEATURE, SEE LANDSCAPE DRAWINGS
- 19 CONCRETE BOLLARD
- 20 MONUMENT SIGN
- 21 EXISTING FENCE TO REMAIN
- 22 LONG TERM BIKE PARKING
- 23 SHORT TERM BIKE PARKING
- 24 ELECTRICAL SWITCH GEAR
- 25 KNOX BOX
- 26 BY CHARGING STATION AND PARKING
- 27 OUTDOOR ROUND TABLE AND CHAIR W/ UMBRELLA



**01 ENLARGE SITE PLAN @ STORE**  
 SCALE: 1/8"=1'-0"  
 NORTH

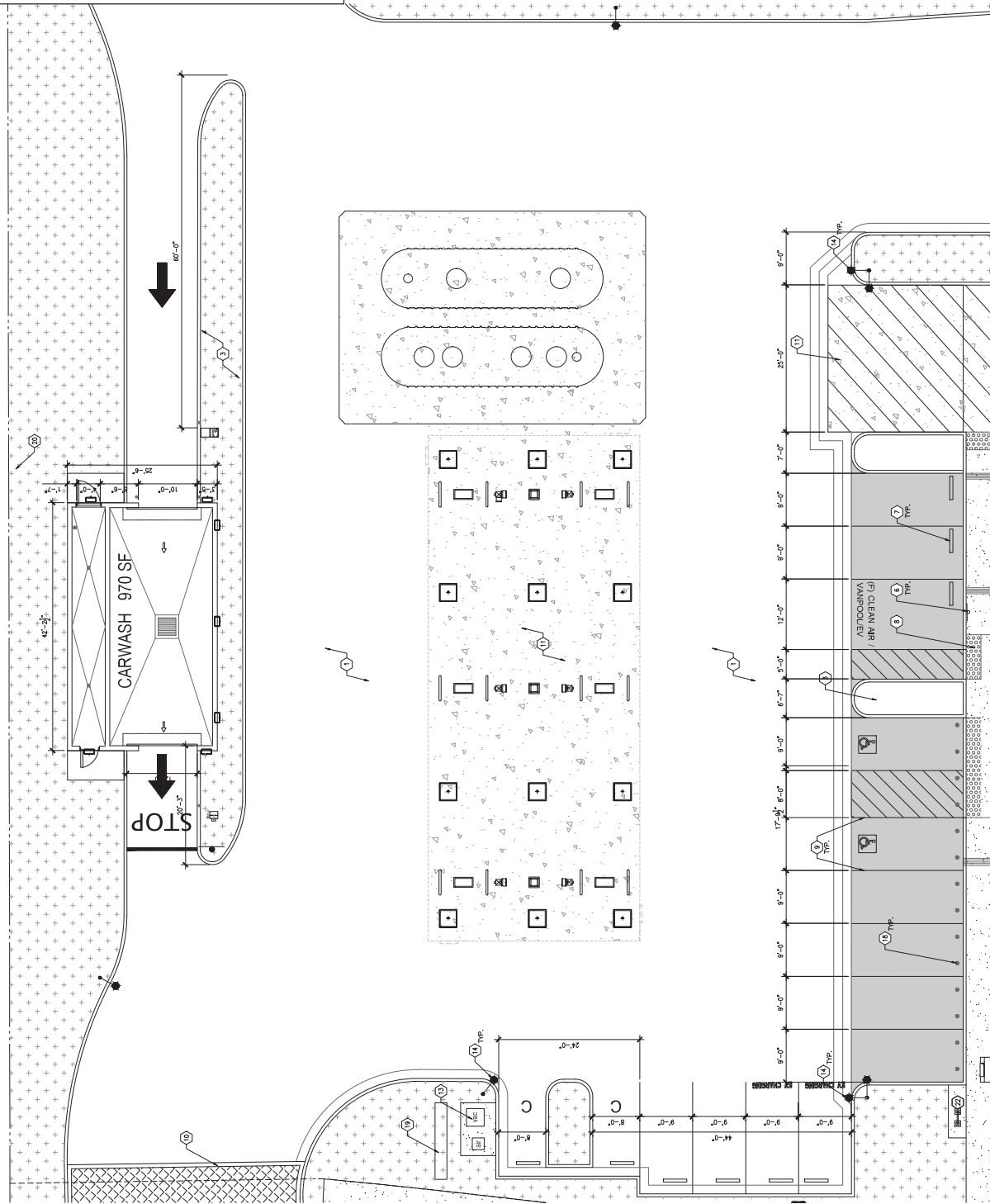
May 23, 2023

Resolution 2023-0151

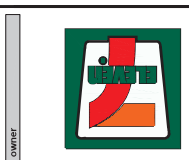
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**KEY NOTES**

- 1 ASPHALT PAVEMENT
- 2 ACCESSIBLE ENTRY SLOPES, SEE DETAIL 175PT13
- 3 LANDSCAPE & IRRIGATION AREA - SEE LANDSCAPE DRAWINGS
- 4 PORT OF TRAVEL TO PUBLIC RIGHT OF WAY
- 5 MAIN ENTRY
- 6 ACCESSIBLE PARKING SPALL WITH SLOPES, SEE DETAIL 175PT13
- 7 PRECAST CONCRETE WHEEL-STOP, SEE DETAIL 175PT13
- 8 SEE DETAIL 175PT13
- 9 NEW DECOMPOSING STAMPED PAVING
- 10 CONCRETE FINISH
- 11 PLANTER
- 12 AIR AND VACUUM
- 13 SITE LIGHTING
- 14 TRASH ENCLOSURE, SEE 175PT14
- 15 NOT USED
- 16 LANDSCAPE FEATURE, SEE LANDSCAPE DRAWINGS
- 17 CONCRETE BOLLARD
- 18 MONUMENT SIGN
- 19 EXISTING FENCE TO REMAIN
- 20 LONG TERM BIKE PARKING
- 21 SHORT TERM BIKE PARKING
- 22 ELECTRICAL SWITCH GEAR
- 23 KNOX BOX
- 24 OUTDOOR SEATING



**IGNISIO STUDIOS**  
 1514 Woodburn Ave.  
 Sacramento, CA 95824  
 phone: 916.231.8247



**PROJECT INFO**  
 7 ELEVEN, CA  
 SACRAMENTO, CA  
 SACRAMENTO, CA 95829

**DESIGNER**  
 711-001  
 04/02/2022  
 04/02/2022  
 04/02/2022

**ISSUES**  
 Revision #1 02/11/2023  
 Revision #2 04/01/2022



**SHEET INFO**  
 ENLARGE SITE PLAN @ CAR WASH

**SP1.4**  
 page 46 of 54

01 ENLARGE SITE PLAN @ CAR WASH  
 SCALE: 1/8" = 1'-0"

May 23, 2023

Resolution 2023-0151

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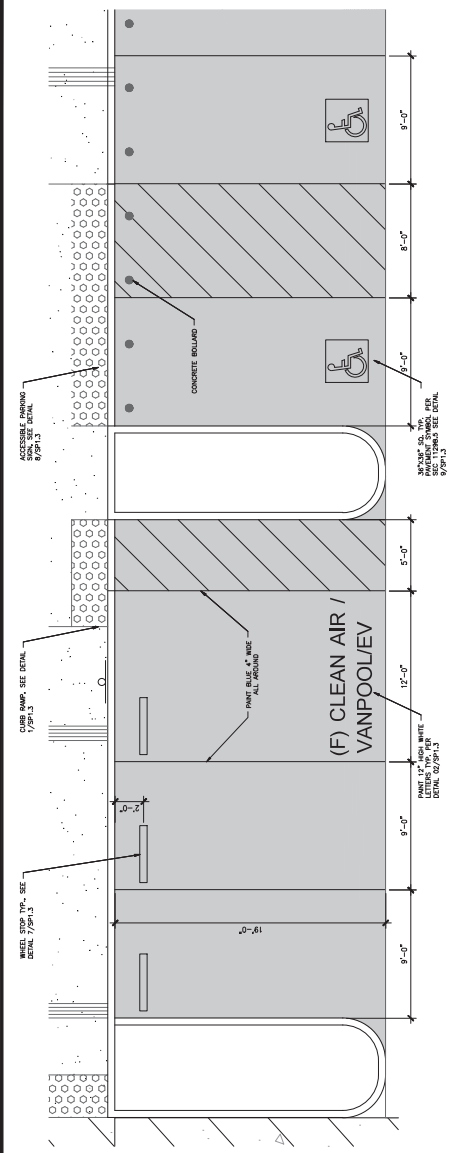


**7 ELEVEN, CA**  
 NEC S. WATT AVE. &  
 ELDER CREEK RD.  
 SACRAMENTO, CA 95829

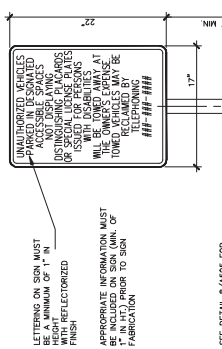
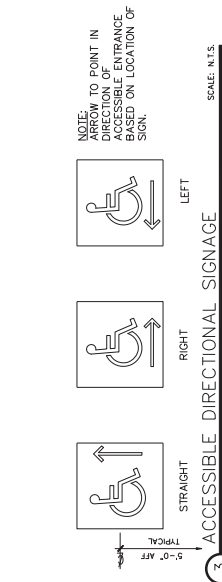
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 DESIGNER: 04/02/2022  
 DATE: 04/02/2022  
 DRAWN BY: JMM/XXX  
 CHECKED BY: JMM/XXX  
 PROJECT # 00120221  
 DRAWING # 04010222



**SITE DETAILS**  
**SP1.3**  
 page 47 of 54

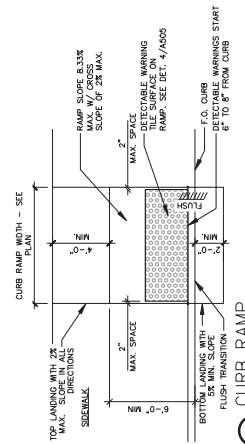
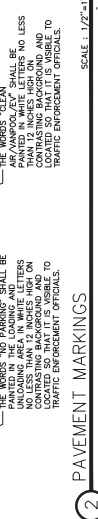


**6 ACCESSIBLE HANDICAP PARKING**  
 SCALE: 1/4" = 1'-0"

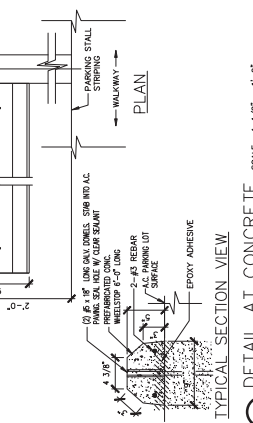
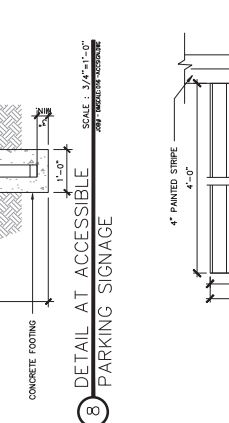
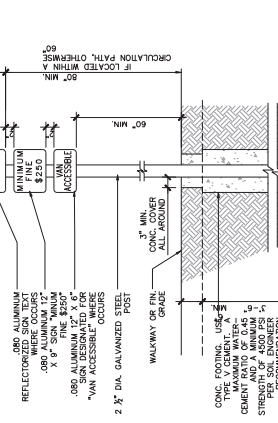
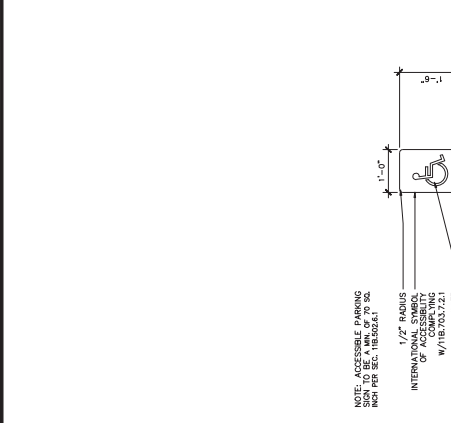


**NO CLEAN AIR / PARKING VANPOOL/EV**

THE WORDS "NO PARKING" SHALL BE UNDOUBTEDLY READABLE FROM ALL DIRECTIONS. THE WORDS "CLEAN AIR" SHALL BE PAINTED IN WHITE LETTERS NO LESS THAN 1/2" HIGH ON A CONTRASTING BACKGROUND AND LOCATED SO AS TO BE VISIBLE TO TRAFFIC FROM ALL DIRECTIONS.



**4 DETAIL @ TRUNCATED DOME WARNING SURFACE**  
 SCALE: N.T.S.  
 (PER CBT 2016 T1B-705)  
 May 23, 2023



**Resolution 2023-0151**

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1514 Woodburn Ave.  
Phone: 916.231.8247



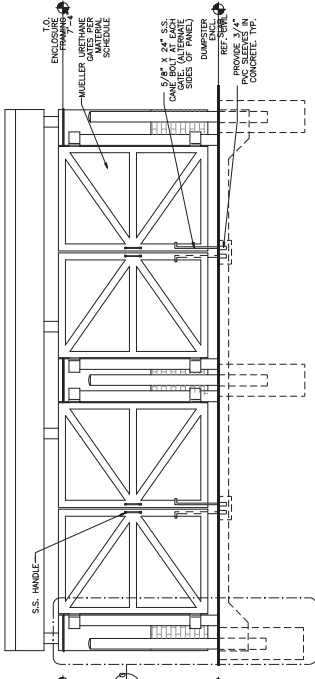
7 ELEVEN, CA  
SACRAMENTO, CA  
NEC S. WATT AVE. &  
ELDER CREEK RD.  
SACRAMENTO, CA 95829

11-001  
DESIGNED BY: 04/02/2022  
CHECKED BY: 04/02/2022  
DATE: 04/02/2022  
PROJECT: 04/02/2022

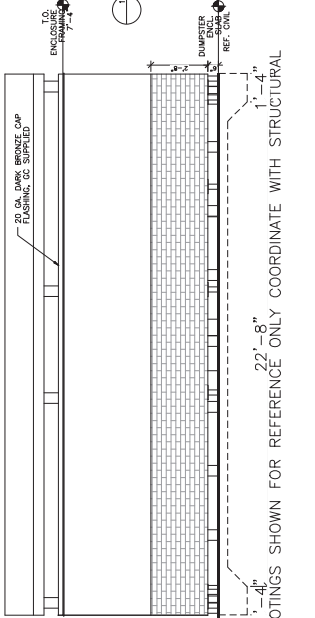


ENLARGE SITE PLAN  
@ CAR WASH

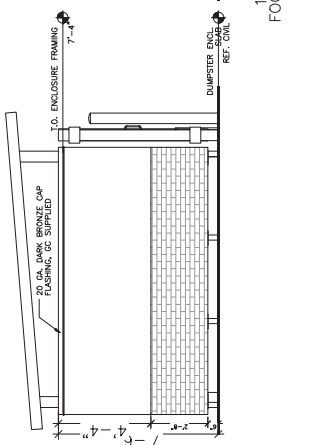
SP1.2  
page 48 of 54



1 FRONT DUMPSTER ENCL. ELEVATION  
3/8" = 1'-0"



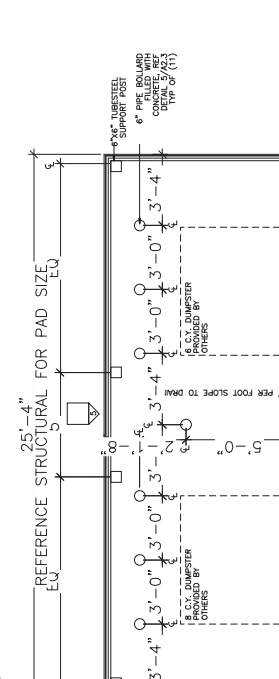
5 REAR DUMPSTER ENCL. ELEVATION  
3/8" = 1'-0"



8 SIDE DUMPSTER ENCL. ELEVATION  
3/8" = 1'-0"



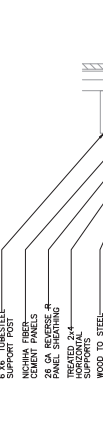
2 DUMPSTER ENCL. FOUNDATION SECTION  
3/8" = 1'-0"



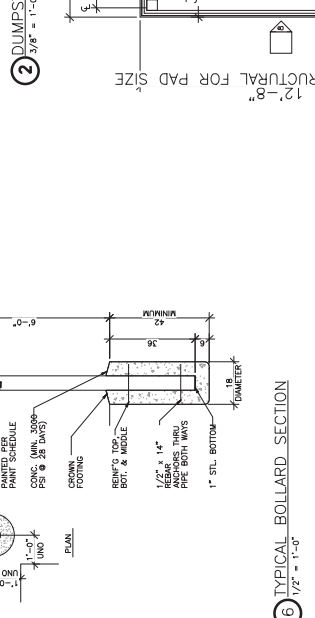
3 DUMPSTER ENCLOSURE PLAN  
3/8" = 1'-0"



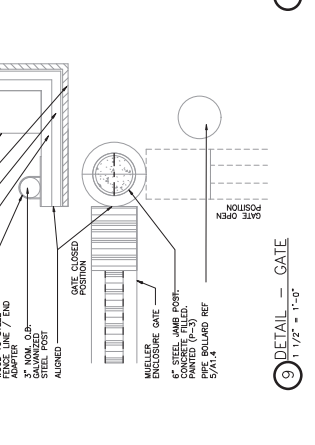
6 TYPICAL BOLLARD SECTION  
1/2" = 1'-0"



9 DETAIL - GATE  
1 1/2" = 1'-0"



7 DUMPSTER ENCL. WALL SECTION  
1/2" = 1'-0"



10 GATE BOLLARD DETAIL  
1 1/2" = 1'-0"

20 GA. DARK BRONZE CAP FLASHING, GC SUPPLIED

22'-8" FOOTINGS SHOWN FOR REFERENCE ONLY COORDINATE WITH STRUCTURAL

6" W/4" BOLLARD POST  
NICHIA FRER-CEMENT PANELS  
PAINT SCHEDULE  
TREATED 2x4 SUPPORTS  
WOOD TO STEEL ADAPTER / END  
2" NOM. O.D. STEEL POST  
ALIGNED

20 GA. DARK BRONZE CAP FLASHING, GC SUPPLIED

6" W/4" BOLLARD POST  
NICHIA FRER-CEMENT PANELS  
PAINT SCHEDULE  
TREATED 2x4 SUPPORTS  
WOOD TO STEEL ADAPTER / END  
2" NOM. O.D. STEEL POST  
ALIGNED

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20 GA. DARK BRONZE CAP FLASHING, GC SUPPLIED

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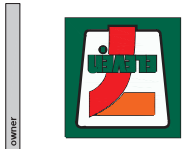
6" W/4" BOLLARD POST  
NICHIA FRER-CEMENT PANELS  
PAINT SCHEDULE  
TREATED 2x4 SUPPORTS  
WOOD TO STEEL ADAPTER / END  
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WOOD TO STEEL ADAPTER / END  
2" NOM. O.D. STEEL POST  
ALIGNED

Resolution 2023-0151  
MAY 23, 2023



**LAYOUT INFORMATION**

- ROLLER GRILLS
- SANDWICH CASE
- VAULT DOORS
- LOW TEMP DOORS
- ICE MERCHANT DOORS
- NOVELTY CASE
- BAKERY CASE
- SLURPEE BARRELS
- GONDOLA UNITS (60"H)
- END CAPS (60"H)
- POWER WINGS
- LOW WALLS (36"H)
- HIGH WALLS (72"H)
- TOTAL

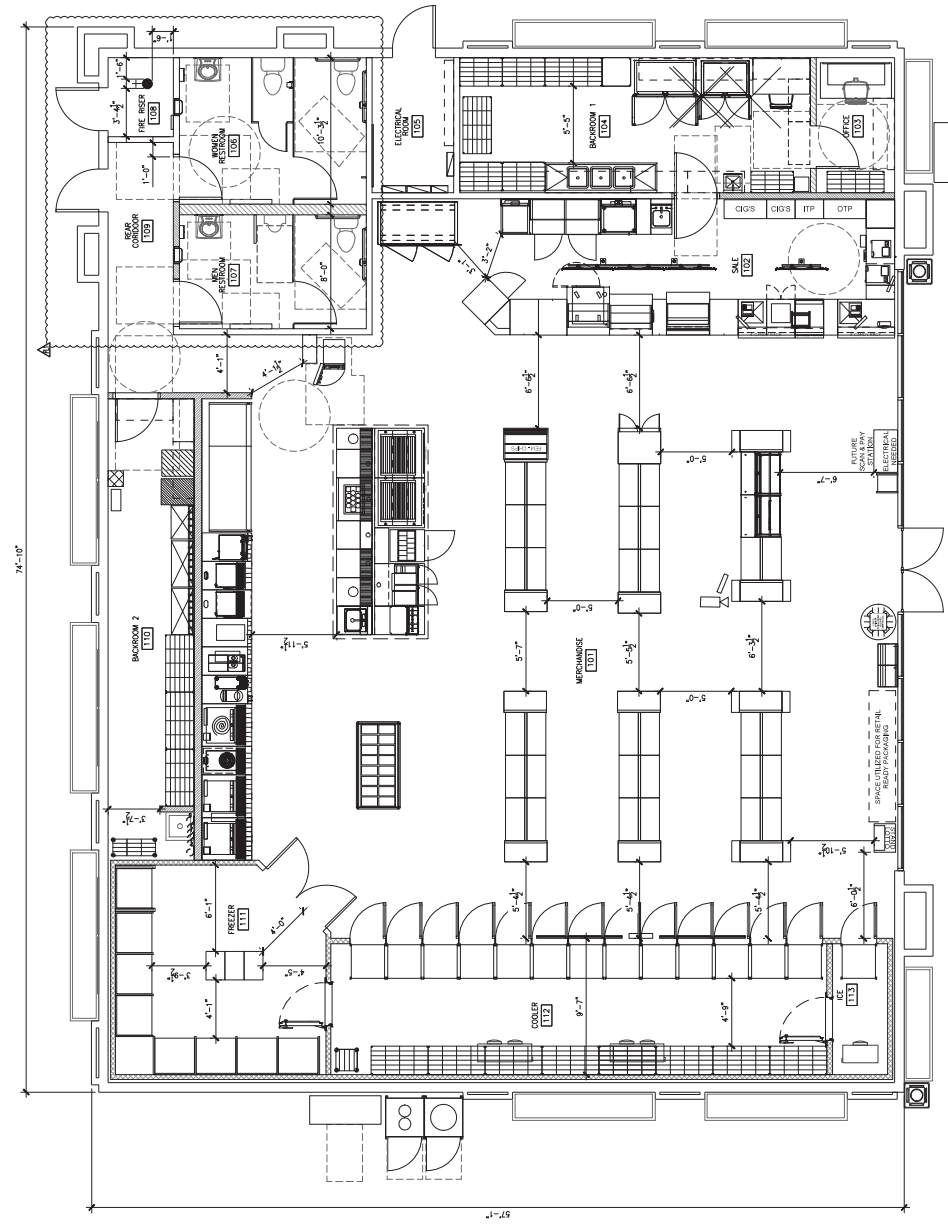
TOTAL SQ. FT.  
SALES FLOOR AREA

GAS: YES    LIQUOR: NO  
BEER: YES    WINE: YES

OCCUPANCY LOAD (>49) = 88  
TRAVEL DISTANCE (<200) = 83'  
COMMON PATH OF TRAVEL (<75) = 50'  
RESTROOMS REQUIRED  
EXITS REQUIRED

- OVERHEAD SHELVES
- FLOOR SHELVES

- WALL TYPE LEGEND**
- EXTERIOR WALL
  - INTERIOR WALL
  - PARTIAL HEIGHT WALL
  - COOLER WALL



**OCCUPANCY CALCULATION**

MERCHANDISE	2,373 SF	/	30	=	80 PEOPLE
KITCHEN / SALES	325 SF	/	200	=	2 PEOPLE
STORAGE / BACK ROOM	978 SF	/	300	=	3 PEOPLE
OFFICE	67 SF	/	100	=	1 PERSON
RESTROOM	372 SF	/	N/A	=	0 PEOPLE
FIRE RISER	35 SF	/	N/A	=	0 PEOPLE
<b>TOTAL</b>	<b>4150 SF</b>			<b>=</b>	<b>86 PEOPLE</b>

**01** FLOOR PLAN  
SCALE: 1/4"=1'-0"  
NORTH

May 23, 2023

Resolution 2023-0151

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1514 Woodburn Ave.  
 Sacramento, CA 95825  
 phone 916.231.8247

author



OWNER

PROJECT INFO

7 ELEVEN, CA  
 SACRAMENTO, CA95829  
 NEC S. WATT AVE. &  
 ELDER CREEK RD.

711-001

DESIGNER: IGNISIO STUDIOS  
 DATE: 04/20/2022  
 PROJECT NO.: 2022-0004

REVISIONS:  
 NO. DATE DESCRIPTION  
 1 04/20/22 000

DATE: 04/20/22  
 DRAWN BY: JAC

DATE: 04/20/22  
 CHECKED BY: JAC

DATE: 04/20/22  
 APPROVED BY: JAC

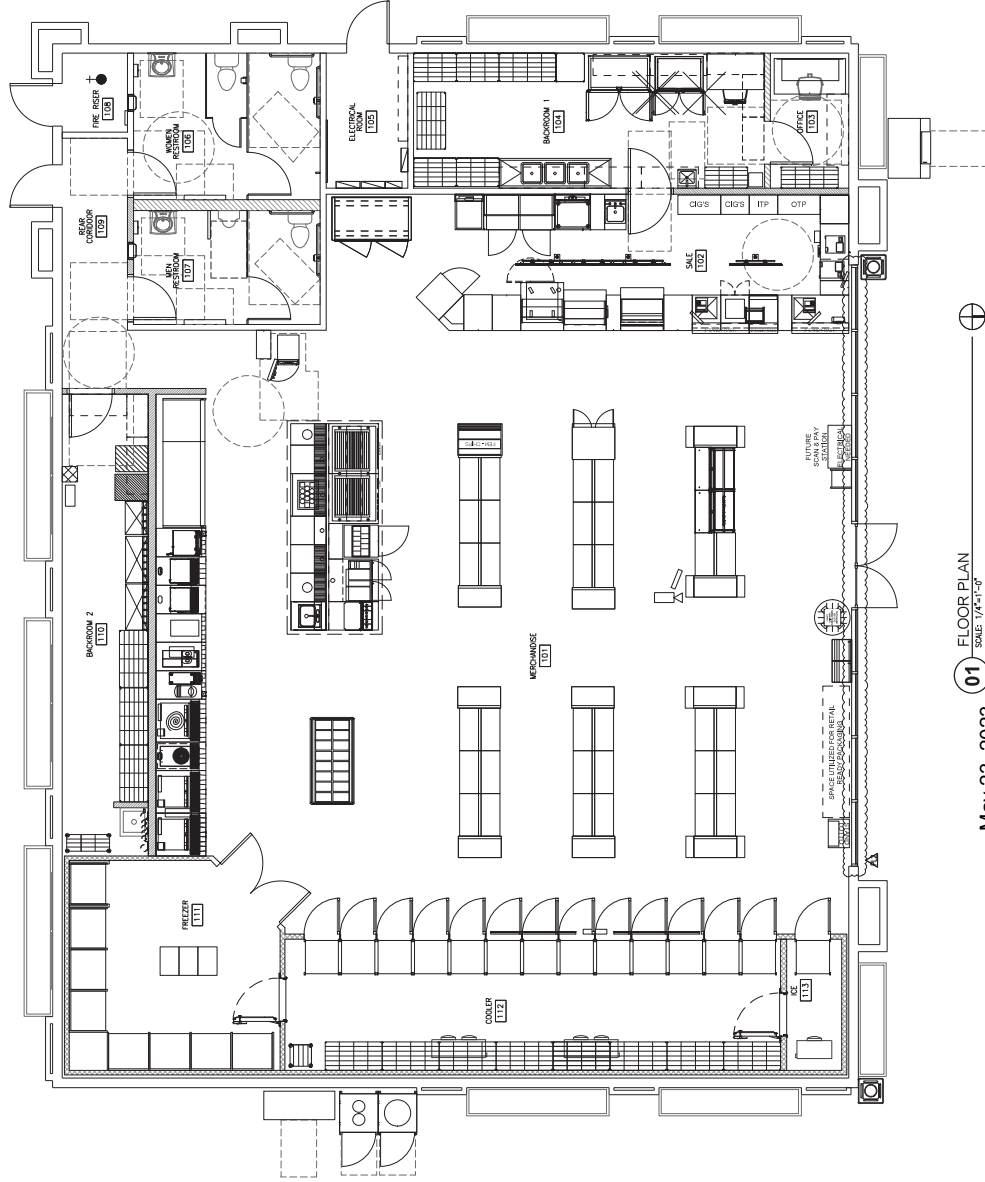
DATE: 04/20/22  
 SEAL



SHEET INFO

FLOOR PLAN

A1.0  
 page 50 of 54



01 FLOOR PLAN  
 SCALE: 1/4"=1'-0"

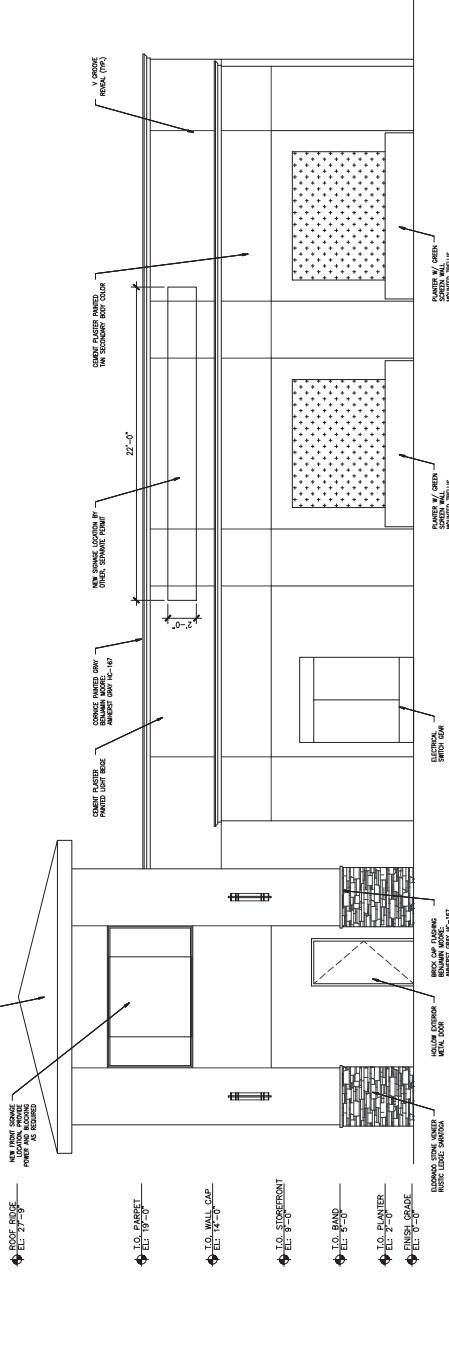
May 23, 2023

Resolution 2023-0151

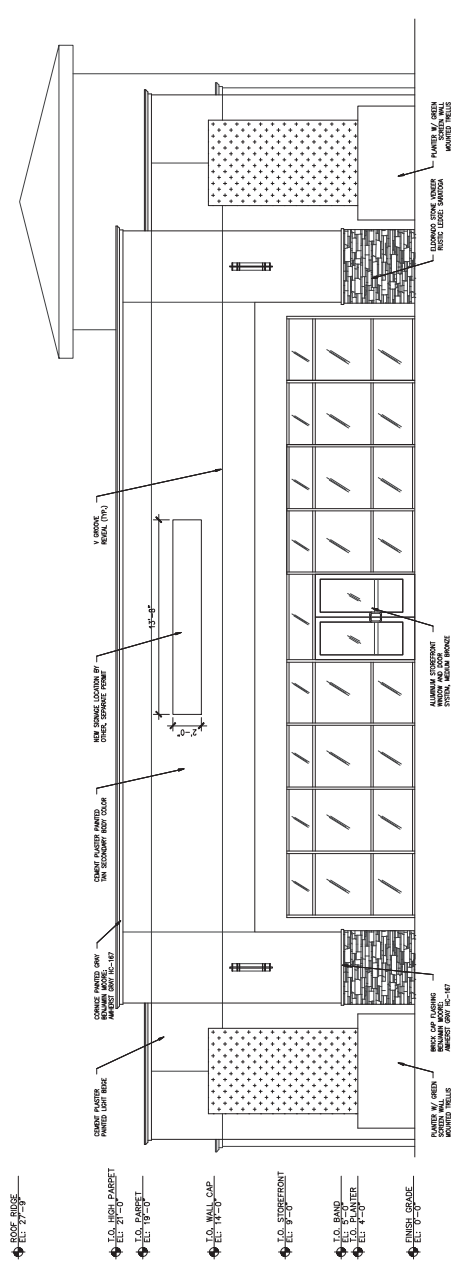
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NOTE:  
FOR COLOR REFER TO C.O.L.O.  
SCHEDULE WILL BE DONE IN A SEPARATE PERMIT



**01** SOUTH ELEVATION  
SCALE: 1/4"=1'-0"



**02** NORTH ELEVATION  
SCALE: 1/4"=1'-0"

NOTES:  
FOR COLOR REFER TO C.O.I.O.  
FINISHES WILL BE DONE IN A SEPARATE PERMIT

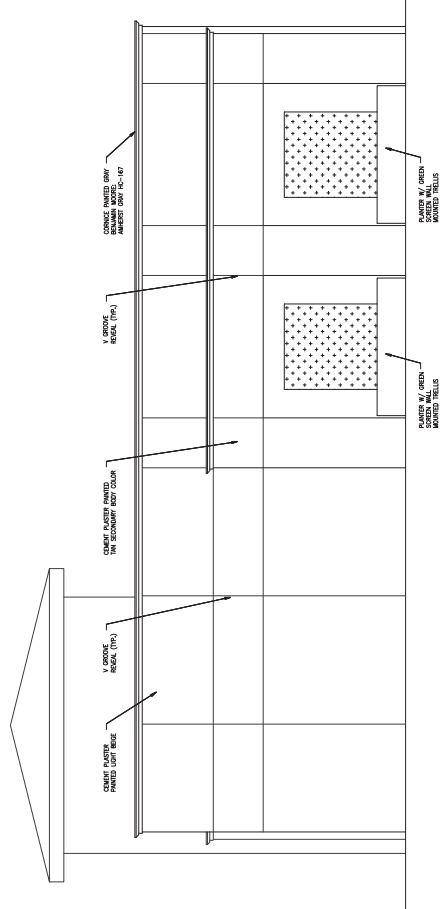
ROOF BRIDGE  
E.L. 27'-0"

I.O. PARAPET  
E.L. 19'-0"

I.O. WALL CAP  
E.L. 14'-0"

I.O. PLASTER  
E.L. 2'-0"

FINISH GRADE  
E.L. 0'-0"



01 EAST ELEVATION  
SCALE: 1/4"=1'-0"

STAIRS WITH SKIN  
SEE PERMIT  
FOR STAIRS

NEW STAIRS LOCATED BY  
OTHER SEPARATE PERMIT

ROOF BRIDGE  
E.L. 27'-0"

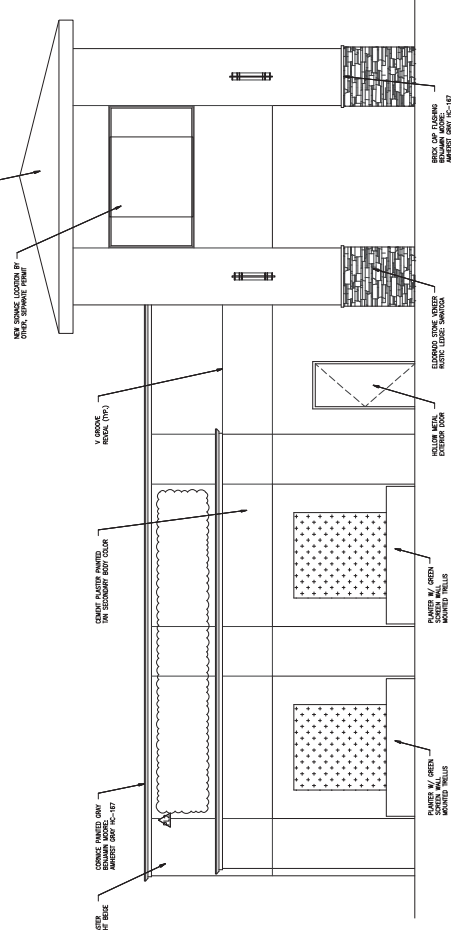
I.O. PARAPET  
E.L. 19'-0"

I.O. WALL CAP  
E.L. 14'-0"

I.O. SLOPEFRONT  
E.L. 7'-0"

I.O. BAND  
E.L. 3'-0"

FINISH GRADE  
E.L. 0'-0"



02 WEST ELEVATION  
SCALE: 1/4"=1'-0"

BACK OF WINDOW  
BRICKWORK  
SEE PERMIT  
FOR BRICKWORK

**IGNISIO STUDIOS**  
1514 Woodburn Ave.  
Sacramento, CA 95825  
Phone: 857.231.8247



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SACRAMENTO, CA  
NEC S. WATT AVE. &  
ELDER CREEK RD.  
SACRAMENTO, CA 95829

711-001  
SUBMISSION: 04/02/2022  
DATE: 04/02/2022  
JOB NO: 2022004  
SHEET: 04/02/2022

DESIGNED BY: [Signature]  
CHECKED BY: [Signature]



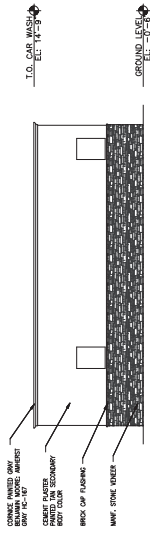
EXTERIOR  
ELEVATIONS  
**A6.0**  
page 52 of 54

May 23, 2023

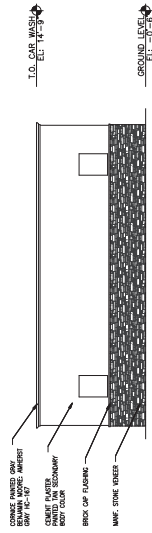
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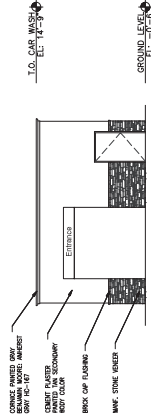
NOTE:  
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SCHEDULE WILL BE DONE IN A SEPARATE PERMIT



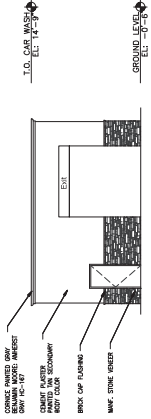
05 CAR WASH - NORTH ELEVATION  
SCALE: 1/8"=1'-0"



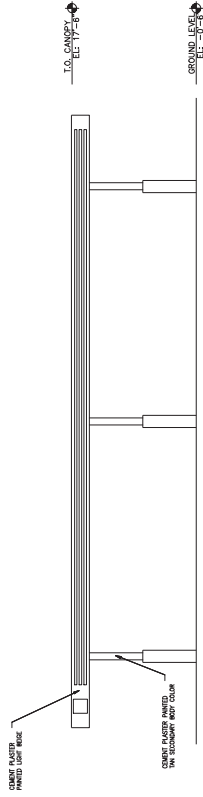
06 CAR WASH - SOUTH ELEVATION  
SCALE: 1/8"=1'-0"



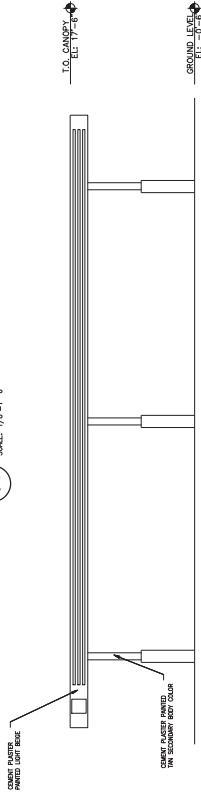
07 CAR WASH - EAST ELEVATION  
SCALE: 1/8"=1'-0"



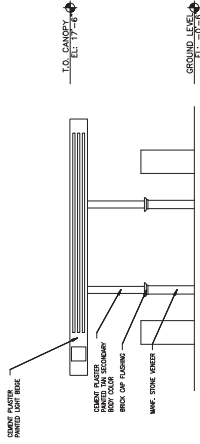
08 CAR WASH - WEST ELEVATION  
SCALE: 1/8"=1'-0"



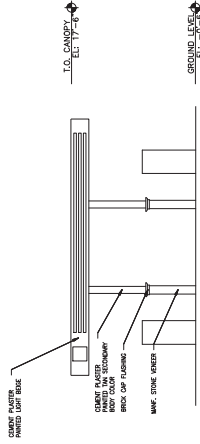
01 GAS CANOPY - NORTH ELEVATION  
SCALE: 1/8"=1'-0"



02 GAS CANOPY - SOUTH ELEVATION  
SCALE: 1/8"=1'-0"

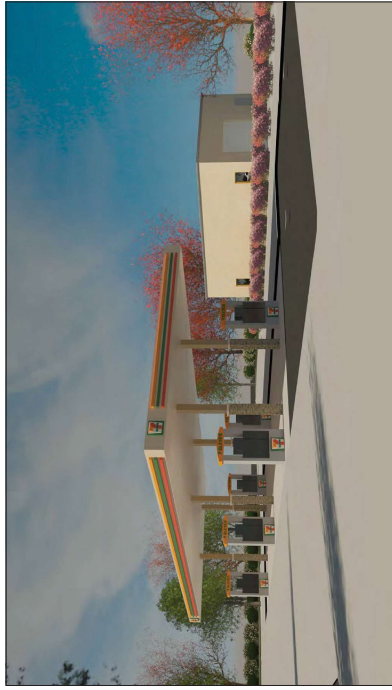
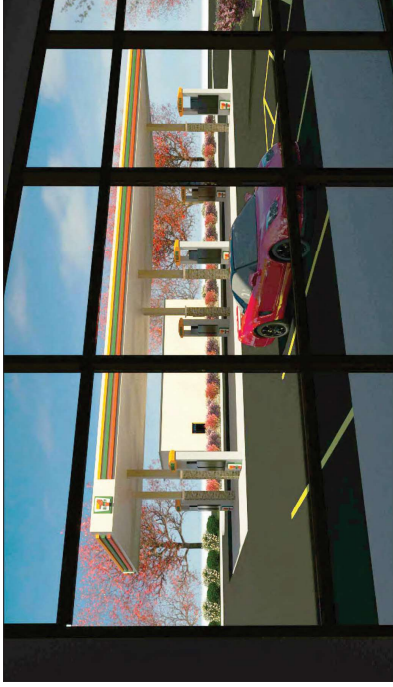


03 GAS CANOPY - EAST ELEVATION  
SCALE: 1/8"=1'-0"



04 GAS CANOPY - WEST ELEVATION  
SCALE: 1/8"=1'-0"





1514 Woodburn Ave.  
 Sacramento, CA 95825  
 Phone: 916.231.8247

OWNER



PROJECT INFO  
 7 ELEVEN, CA  
 SACRAMENTO, CA  
 NEC S. WATT AVE. &  
 ELDER CREEK RD.  
 SACRAMENTO, CA 95829  
 Kitchen

711-001  
 DESIGNER  
 SUBMISSION: 04/02/2022  
 DATE: 04/02/2022  
 SHEET: 01000000  
 XREF: 000000  
 TITLES: 000000  
 REVISIONS:  
 #1: 02/17/2023  
 #2: 04/01/2022

DESIGN  
 DESIGNED BY: SA SA  
 CHECKED BY: SA SA



SHEET INFO

CONCEPTUAL VIEWS

May 23, 2023

Resolution 2023-0151

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