

DIRECTOR(S)

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Minutes
Director Hearing

Published by the
Community Development Department
(916) 264-5011

Thursday April 17, 2025
1:00 p.m.

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1. Crosby Way Tentative Map (Z23-089) (Noticed 1/31/2025) [Continued from 3/06/2025]

Location: 2731 Crosby Way; APN(s): 266-0271-003-0000 (District 2, represented by Councilmember Dickinson)

Entitlements: **Item A.** Environmental Exemption (Per CEQA 15315-Minor Land Divisions); **Item B.** Tentative Parcel Map to subdivide a vacant 1.02-acre parcel into 2 lots in the Multi-Unit Dwelling (R-2A) Zone; and **Item C.** Site Plan and Design Review for review of the tentative parcel map layout with a deviation to exceed maximum lot depth requirements.

Contact: Deja Harris, Associate Planner, (916) 808-5553,
DNHarris@cityofsacramento.org

2. Central Sacramento Studios II (DR25-006) (Noticed 4/07/2025)

Location: 815 11th Street; APN(s): 006-0045-002-0000, 006-0045-003; (District 4)

Entitlements: **Item A.** Environmental Exemption (Per Public Resource Code (PRC) 21155.4); and **Item B.** Site Plan and Design Review for a five-story, 48,352 square foot, residential development with 52 multi-unit dwellings within General Commercial (C-2-SPD) zone and the Central City Special Planning District (SPD); and **Item C.** Tree Permit to remove two private-protected trees.

Contact: Whitney Johnson, Assistant Planner, (916) 808-8047,
WJohnson@cityofsacramento.org

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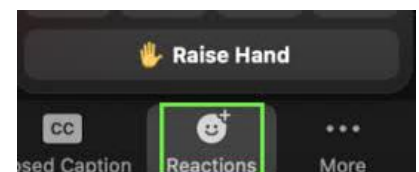
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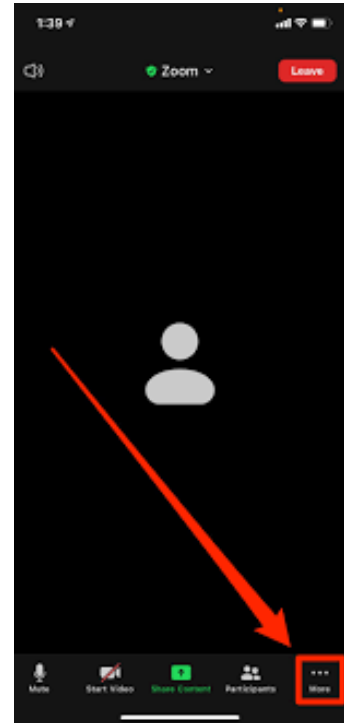


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DIRECTOR REPORT

STAFF RECOMMENDATION

Staff recommends the Zoning Administrator approve, with conditions, Tentative Map for the project known as **Crosby Way Tentative Map (Z23-089)**. Draft Conditions of Approval and Findings of Fact for the project are included below.

REQUESTED ENTITLEMENTS

1. **Tentative Parcel Map** to subdivide one ±1.02-acre parcel, developed with an existing single-unit dwelling into two parcels in the Multi-Unit Dwelling (R-2A) Zone.
2. **Site Plan and Design Review** for review of the tentative parcel map layout with a deviation to exceed lot depth requirements.

PROJECT INFORMATION

Location: 2731 Crosby Way
Parcel Number: 266-0271-003-0000
Council District: 2
Applicant: Tim Marquess, 1671 Glenrose Ave Trust
4005 Manzanita Avenue, Suite 401, Carmichael, CA 95608
Property Owner: Tim Marquess, 1671 Glenrose Ave Trust
4005 Manzanita Avenue, Suite 401, Carmichael, CA 95608
Project Planner: Deja Harris, Associate Planner
Hearing Date: February 13, 2025

Land Use Information

General Plan: Neighborhood (N)
Community Plan Area: Arden Arcade
Specific Plan: N/A
Zoning: Multi-Unit Dwelling (R-2A)
Special Planning District: N/A
Planned Unit Development: N/A
Design Review Area: Citywide
Parking District: Suburban
Open Space District: N/A
Historic Landmark: N/A
Historic District: N/A

Surrounding Land Use and Zoning

North:	R-2A, M-1	Residential/ Industrial
South:	R-2A	Residential
East:	R-2A	Residential
West:	R-2A, M-1	Residential/ Industrial

Site Characteristics

Existing Property Area:	44,431 square feet / 1.02 acres
Topography:	Flat
Street Improvements:	Existing
Utilities:	Existing
Existing Land Use:	Residential

Other Information

Concurrent Files:	None
Previous Files:	P04-162

ATTACHMENTS

Attachment 1: Tentative Parcel Map

BACKGROUND

The project is located on one parcel of approximately 1.02 acres within the Multi-Unit Dwelling (R-2A) Zone. The parcel is an irregularly shaped lot with street frontage on both Crosby Way and Glenrose Avenue and is currently developed with a detached single-unit dwelling fronting Glenrose Avenue. The site is surrounded by residential uses to the south and east and industrial uses to the north and west. The site is served by existing public infrastructure.

Entitlement History & Code Enforcement Action

Historical imagery from 1968 shows there were two detached dwelling units at the site, one unit fronting Glenrose Avenue and the other fronting Crosby Way. Pursuant to SCC 17.208.162, a duplex dwelling, or two detached single-unit dwellings on the same lot, is a permitted use in the R-2A Zone. The dwelling unit fronting Crosby appears to have been demolished between 1999 and 2001 and the northern portion of the site was left vacant. According to code enforcement records, the site was illegally used as a parking lot from approximately 2003 to 2010. On January 10, 2008, the Planning and Design Commission approved a request to subdivide the lot into two lots and develop an off-site parking lot, on the proposed northern lot, for use by the existing industrial use to the west (P04-162). The parking lot was to include paving, landscaping, and lighting which complied with City standards at that time. In July of 2010, the lot remained unpaved and continued being used as a parking lot without adhering to the conditions of approval of P04-162. Per code enforcement action, the operator was instructed to cease all operations of the parking lot until all improvements have been made or additional penalties would be assessed. In September of 2010, the lot ceased operations and all vehicles were cleared from the parcel. Accordingly, the code enforcement action was closed. The approved tentative map was not finalized, the parking lot was never constructed, and the former entitlements have now expired.

Over the years, it appears the use of the northern portion of the site has transitioned into a contractor storage yard. Pursuant to Sacramento City Code 17.108.040, a contractor storage yard means a lot used for the storage of large equipment, vehicles, or other materials commonly used in the contractor's type of business; storage of scrap materials used for repair and maintenance of contractor's own equipment; and buildings or structures used for related offices and repair facilities. The Multi-Unit Dwelling (R-2A) Zone prohibits this use. Staff has been working with the applicant to cease use of the site as a contractor storage yard, including removal of material and use.

PROPOSED PROJECT AND ANALYSIS

The applicant is proposing to subdivide the parcel into two lots and retain the existing single-unit dwelling, on its own parcel. There is no new development proposed as a part of this application and the existing single-unit dwelling will continue to have access as currently exists. Single-unit dwellings are permitted in the R-2A zone and 2040 General Plan Policy LUP-3.7 indicates that minimum density standards apply to new standalone residential development. This request requires Zoning Administrator approval of a Tentative Parcel Map and Site Plan and Design Review of the proposed map layout and applicable development standards of the existing single-unit dwelling on its respective parcel.

Tentative Parcel Map

The proposed parcels vary in size. Parcel 1, developed with an existing 800 square foot single-unit dwelling is proposed to be 7,500 square feet in size and parcel 2, currently vacant, is proposed to be 37,474 square feet (0.86 acres) in size. The R-2A zone has minimum requirements for lot size, width, and depth as detailed in Table 1. Lot 1 meets the minimum lot size, width, and depth requirements of the Multi-Unit Dwelling (R-2A) zone. Lot 2 meets the minimum lot size, and width, and a deviation is required to exceed the maximum lot depth. The proposed parcels will maintain adequate access to the public street on both Crosby Way and Glenrose Avenue.

Table 1: R-2A Development Standards					
Standard	Required	Lot 1 (Fronting Glenrose Avenue)	Deviation	Lot 2 (Fronting Crosby Way)	Deviation
Lot Size (Sq Ft)	2,500	7,500	N	37,474	N
Lot Width (Ft)	20'	50'	N	99.88'-149.88'	N
Lot Depth (Ft)	80' - 160'	150'	N	300'	Y; lot depth

Planning staff supports the tentative parcel map as all development standards are met with the exception of the lot depth requirement on Lot 2. The subdivision will provide for future infill development on the vacant lot.

Site Plan and Design Review

Site Plan and Design Review is required for the review of the map layout and to review the existing single-unit dwelling remaining on Lot 1 and to ensure compliance with the required lot coverage and setback requirements of the Multi-Unit Dwelling (R-2A) Zone. Table 2 below illustrates compliance with these applicable development standards for the existing dwelling unit on its proposed parcel.

Table 2: R-2A Development Standards		
Standard	Required	Lot 1 (Fronting Glenrose Avenue)
Front Setback	10' – 25'	15' (existing)
Rear Setback	15'	108.8' (new)
Interior Setback	5'	5' (existing) & 12' (existing)
Lot Coverage	50%	11%

Fencing

Pursuant to Sacramento City Code 17.620.120, a parcel abutting a residential zone or use shall provide a minimum 6-foot high solid wall of masonry, brick, or similar material along all property lines which abut a residential zone or use. No construction is proposed with this application, however if lot 2 is developed with a nonresidential use a masonry wall will be required to separate the residential use.

SUBDIVISION REVIEW COMMITTEE

The proposed tentative parcel map was heard at the Subdivision Review Committee on August 21, 2024. The conditions of approval were accepted by the applicant and forwarded by the committee. The resulting conditions are listed under Conditions of Approval below.

PUBLIC / NEIGHBORHOOD OUTREACH AND COMMENTS

This project was routed to Ben Ali Community Association, Rancho Del Paso Neighborhood Association, North Sacramento Chamber of Commerce, Preservation Sacramento, Civic Thread, Sacramento Area Bicycle Advocates, and Region Builders. Staff received no comments.

The site was posted with project information at the time of submittal. All property owners and residents within 500 feet of the subject site, and neighborhood association were mailed a public hearing notice and on January 31, 2025, a notice was posted at the project site. At the time of the writing of this report, staff did not receive any additional comments or expressed opposition to the proposed project.

ENVIRONMENTAL DETERMINATION

The Community Development Department, Environmental Planning Services Division has reviewed this project and the Zoning Administrator determined that it is exempt from the provisions of the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines section 15315, Minor Land Divisions (Categorical Exemption – Class 15). This project qualifies for this exemption as it applies to divisions of property that are in urbanized areas zoned for residential, commercial, or industrial use into four or fewer parcels. The division is consistent with the General Plan and zoning in that no variances or exceptions are required, all services and access to the proposed parcels to local standards are available, the parcel was not involved in a

division of a larger parcel within the previous 2 years, and the parcel(s) does not have an average slope greater than 20 percent. This project is to subdivide one 1.02 acre parcel developed with an existing single-unit dwelling into two parcels. This project is consistent with the Multi-Unit Dwelling (R-2A) zoning designation and development standards and does not propose any new development nor does it modify the existing conditions of the site layout regarding ingress/egress. Therefore, the project will not have a significant effect on the environment and no further CEQA analysis is required.

FLOOD HAZARD ZONE

State Law (SB 5) and Planning and Development Code chapter 17.810 require that the City must make specific findings prior to approving certain entitlements for projects within a flood hazard zone. The purpose is to ensure that new development will have protection from a 200-year flood event or will achieve that protection by 2025. The project site is within a flood hazard zone and is an area covered by SAFCA's Improvements to the State Plan of Flood Control System, and specific findings related to the level of protection have been incorporated as part of this project. Even though the project site is within a flood hazard zone, the local flood management agency, SAFCA, has made adequate progress on the construction of a flood protection system that will ensure protection from a 200-year flood event or will achieve that protection by 2025. This is based on the SAFCA Urban level of flood protection plan, adequate progress baseline report, and adequate progress toward an urban level of flood protection engineer's report that were accepted by City Council Resolution No. 2016-0226 on June 21, 2016 and the *SAFCA 2024 Adequate Progress Annual Report* accepted by City Council Resolution No. 2024-0311 on October 22, 2024.

No Net Loss Findings Gov. Code, § 65863

The vacant portion of the property is within the Housing Element Sites Inventory and does not include a reduction of residential capacity within the meaning of Government Code § 65863 (housing element no net loss) or Government Code § 66300 (housing crisis act no net loss) because development is not proposed at this time and the property will remain vacant.

FINDINGS OF FACT

Environmental Determination: Exempt

The Community Development Department, Environmental Planning Services Division has reviewed this project and the Zoning Administrator determined that it is exempt from the provisions of the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines section 15315, Minor Land Divisions (Categorical Exemption – Class 15). This project qualifies for this exemption as it applies to divisions of property that are in urbanized areas zoned for residential, commercial, or industrial use into four or fewer parcels. The division is consistent with the General Plan and zoning in that no variances or exceptions are required, all services and access to the proposed parcels to local standards are available, the parcel was not involved in a division of a larger parcel within the previous 2 years, and the parcel(s) does not have an average slope greater than 20 percent. This project is to subdivide one 1.02 acre parcel developed with an existing single-unit dwelling into two parcels. This project is consistent with the Multi-Unit Dwelling (R-2A) zoning designation and development standards and does not propose any new development nor does it modify the existing conditions of the site layout regarding ingress/egress. Therefore, the project will not have a significant effect on the environment and no further CEQA analysis is required.

Tentative Parcel Map

1. None of the conditions described in City Code section 17.828.090 and Government Code section 66474 exist with respect to the proposed subdivision as follows:
 - a. The proposed map is consistent with the General Plan, all applicable community and specific plans, Title 17 of the City Code, and all other applicable provisions of the City Code;
 - b. The design and improvement of the proposed subdivision is consistent with the General Plan, all applicable community and specific plans, Title 17 of the City Code, and all other applicable provisions of the City Code as conditioned;
 - c. The site is physically suitable for the type of development;
 - d. The site is physically suitable for the proposed density of development;
 - e. The design of the subdivision and the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat;
 - f. The design of the subdivision and the type of improvements are not likely to cause serious public health problems;
 - g. The design of the subdivision and the type of improvements will not conflict with easements, acquired by the public at large, for access through, or use of, property within the proposed subdivision.
2. The proposed subdivision, together with the provisions for its design and improvement, is consistent with the General Plan, all applicable community and specific plans, Title 17 of the City Code, and all other applicable provisions of the City Code (Gov. Code §66473.5);
3. The discharge of waste from the proposed subdivision into the existing community sewer system will not result in a violation of the applicable waste discharge requirements prescribed by the California Regional Water Quality Board, Central Valley Region, in that existing treatment plants have a design capacity adequate to service the proposed subdivision (Gov. Code §66474.6);
4. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities (Gov. Code §66473.1); and
5. The Zoning Administrator has considered the effect of the approval of this Tentative Subdivision Map on the housing needs of the region and has balanced these needs against the public service needs of its residents and available fiscal and environmental resources (Gov. Code §66412.3).

Site Plan and Design Review

1. The design, layout, and physical characteristics of the proposed development are consistent with the General Plan which designates the site as Neighborhood (N) and the Arden Arcade Community Plan in that the development provides an opportunity for future residential infill development. There is no transit village plan applicable to this project.

2. The design, layout, and physical characteristics of proposed development are consistent with all applicable design guidelines and with all applicable development standards. Deviations proposed to exceed the maximum lot depth are consistent with the surrounding development and the purpose and intent of the Planning and development Code in that the parcel can adequately accommodate future infill development.
3. All streets and other public access ways and facilities, parking facilities, and utility infrastructure are adequate to serve the proposed development and comply with all applicable design guidelines and development standards as the proposed parcel map does not result in any new changes to ingress/egress from Crosby Way and Glenrose Avenue, parking facilities, nor required utilities needed to ensure proper operation of the use.
4. The design, layout, and physical characteristics of the proposed development as conditioned are visually and functionally compatible with the surrounding neighborhood. No development is proposed with this request and the existing single-unit dwelling will continue to have access as currently exists.
5. The design, layout, and physical characteristics of the proposed development as conditioned minimizes energy consumption and encourages the use of renewable energy sources in that the project uses existing utility infrastructure, public access ways, and existing driveways. The project does not propose new development.
6. The design, layout, and physical characteristics of the proposed development as conditioned are not detrimental to the public health, safety, convenience, or welfare of persons residing, working, visiting, or recreating in the surrounding neighborhood and will not result in the creation of a nuisance in that the project is compatible with all applicable development standards and is compatible with the surrounding development. No new development is proposed with this application.

200-Year Flood Protection

1. The project site is within an area for which the local flood-management agency has made adequate progress (as defined in California Government Code section 65007) on the construction of a flood-protection system that, for the area intended to be protected by the system, will result in flood protection equal to or greater than the urban level of flood protection in urban areas for property located within a flood-hazard zone, as demonstrated by the SAFCA Urban Level of Flood Protection Plan and Adequate Progress Baseline Report and the SAFCA Adequate Progress Toward an Urban Level of Flood Protection Engineer's Report, each accepted by the City Council on June 21, 2016 (Resolution No. 2016-0226), and the SAFCA 2024 Adequate Progress Annual Report accepted by the City Council on October 22, 2024 (Resolution No. 2024-0311).

No Net Loss Findings Gov. Code, § 65863

The project does not include a reduction of residential capacity within the meaning of Government Code § 65863 (housing element no net loss) or Government Code § 66300 (housing crisis act no net loss).

CONDITIONS OF APPROVAL

Tentative Parcel Map

NOTE: These conditions shall supersede any contradictory information shown on the Tentative Map or approved for this project (Z23-089). The design of any improvement not covered by these conditions shall be to City standard.

The applicant shall satisfy each of the following conditions prior to filing the Parcel Map unless a different time for compliance is specifically stated in these conditions. Any condition requiring an improvement that has already been designed and secured under a City Approved improvement agreement may be considered satisfied at the discretion of the Department of Public Works.

The City strongly encourages the applicant to thoroughly discuss the conditions of approval for the project with their Engineer/Land Surveyor consultants prior to City Planning approval. The improvements required of a Tentative Map can be costly and are completely dependent upon the condition of the existing improvements. Careful evaluation of the potential cost of the improvements required by the City will enable the applicant to ask questions of the City prior to project approval and will result in a smoother plan check process after project approval:

Public Works:

1. The applicant shall repair any existing deteriorated curb, gutter, and sidewalk along Crosby Way per City standards and to the satisfaction of the Department of Public Works.
2. Dedicate in the form of an irrevocable offer of dedication (IOD) and additional 1.5 feet along Crosby Way for right of way purposes to the satisfaction of the Department of Public Works. An additional 1.5 feet of right of way is required to comply with the City's industrial street section.
3. Show all continuing and proposed/required easements on the Parcel Map.
4. The design and placement of walls, fences, signs and Landscaping near intersections and driveways shall allow stopping sight distance per Caltrans standards and comply with City Code Section 12.28.010 (25' sight triangle). Walls shall be set back 3' behind the sight line needed for stopping sight distance to allow sufficient room for pilasters. Landscaping in the area required for adequate stopping sight distance shall be limited to 3.5' in height. The area of exclusion shall be determined by the Department of Public Works.

SMUD:

5. SMUD has existing overhead 12kV and secondary facilities along Crosby Way and on the parcel that will need to remain. The Applicant shall be responsible for maintaining all CalOSHA and State of California Public Utilities Commission General Order No. 95 safety clearances during construction and upon building completion. If the required clearances cannot be maintained, the Applicant shall be responsible for the cost of relocation.
6. Any necessary future SMUD facilities located on the Applicant's property shall require a dedicated SMUD easement. This will be determined prior to SMUD performing work on the Applicant's property.

7. In the event the Applicant requires the relocation or removal of existing SMUD facilities on or adjacent to the subject property, the Applicant shall coordinate with SMUD. The Applicant shall be responsible for the cost of relocation or removal.
8. SMUD reserves the right to use any portion of its easements on or adjacent to the subject property that it reasonably needs and shall not be responsible for any damages to the developed property within said easement that unreasonably interferes with those needs.
9. The Applicant shall not place any building foundations within 5-feet of any SMUD trench to maintain adequate trench integrity. The Applicant shall verify specific clearance requirements for other utilities (e.g., Gas, Telephone, etc.).
10. The Applicant shall comply with SMUD siting requirements (e.g., panel size/location, clearances from SMUD equipment, transformer location, service conductors). Information regarding SMUD siting requirements can be found at: <https://www.smud.org/en/Business-Solutions-and-Rebates/Design-and-Construction-Services>.
11. The Applicant shall provide separate SMUD service points to each parcel to the satisfaction of SMUD.

SRCSD:

12. Before the ISSUANCE OF A BUILDING PERMIT: The owner must contact the Regional San Permit Services Unit at PermitServices@sacsewer.com or by phone at (916) 876-6100 to determine if sewer impact fees are due. Fees are to be paid before the issuance of building permits.

SASD:

13. The subject property is outside the boundaries of SacSewer but within the Urban Service Boundary and Sacramento Regional County Sanitation District (Regional San) boundaries. Regional San will provide ultimate conveyance and treatment of the sewer generated from this site, but the City of Sacramento Utilities Department's approval will be required for local sewage service.

DOU:

14. All existing easements and all existing right-of-ways shall be shown on the Final Map, except for all abandoned easements and right-of-ways.
15. DOU records indicate there is an existing City sanitary sewer main adjacent to the west property line of 2731 Crosby Way parcel. Applicant shall provide evidence of an existing public easement for the existing City sanitary sewer main, if there is none, applicant shall dedicate an easement over the existing sewer main to the satisfaction of the DOU. The DOU Field Services will assist the applicant in field verifying the location of City Utilities. The applicant should call the following for assistance: Customer Service at (916) 808-

5454.

PARKS:

16. **Payment of In-lieu Park Fee:** Pursuant to Sacramento City Code Chapter 17.512 (Parkland Dedication) the applicant shall pay to City an in-lieu park fee in the amount determined under SCC §§17.512.030 and 17.512.040 equal to the value of land prescribed for dedication under 17.512.020 and not satisfied by dedication. (See Advisory Note)
17. **Maintenance District:** The applicant shall initiate and complete the formation of a parks maintenance district (assessment or Mello-Roos special tax district) or annex the project into an existing parks maintenance district. The applicant shall pay all city fees for formation of or annexation to a parks maintenance district. (*Contact Infrastructure Finance, Brent Mueller, (916)808-5715, bmueller@cityofsacramento.org*).

Urban Forestry:**Required Tree Preservation Measures for City and Private Protected Trees**

18. Any Regulated Work within the dripline or Tree Protection Zone of a protected tree shall be separately permitted prior to the start of construction and supervised by a Certified Arborist. Submit a tree permit application and a tree protection plan created by a Certified Arborist to UrbanForestry@cityofsacramento.org and refer to the planning project number or off-site project number.
19. All excavation, grading, or trenching within the dripline of a protected tree for the purpose of utility installation, constructing foundations, footings, sidewalks, curbs, gutters, or any other reason shall employ one of the following methods: Hydro-excavation, pneumatic excavation or hand digging and shall be directly supervised by a Certified Arborist.
20. There shall be no grade changes within the dripline of protected trees. All grade changes shall be accommodated onsite.
21. There shall be no soil compaction within the dripline of protected trees.
22. The following is a list of activities that are prohibited within the right-of-way planter and/or tree protection zone of protected trees: pedestrian and equipment traffic that could compact the soil or physically damage roots, parking vehicles, equipment and/or port-a-potties, storing of soil, construction materials, petroleum products, water or building refuse, disposing of wash water, paint, cement, fuel or other potentially damaging liquids, and any other activities that may have negative impacts on the trees and soil.
23. The applicant shall be financially responsible for any damage to City trees associated with the project. Accidental or negligent actions that damage City trees may result in a penalty. The monetary value of any such damages will be appraised by the City Urban Forester or his authorized representative and shall be expressed as the monetary equivalent of all labor and materials required to bring the tree in question to a state of comparable utility with regards to its condition and function prior to the beginning of the project.

Advisory Notes:

The following advisory notes are informational in nature and are not a requirement of this Tentative Map:

DOU:

ADV1. The proposed project is located in a Zone X on the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Maps (FIRMs). Accordingly, the project site lies in an area with no requirements to elevate or flood proof.

Urban Forestry:

ADV2. Subdivision of this parcel may result in a change to the protection status of trees on site. Per SCC 12.56.020, native tree species are protected at 12 inches in diameter on any parcel. Non-native trees on parcels that have a single-family home, or a duplex are protected at 32 inches in diameter. On an undeveloped lot, non-native trees are protected at 24 inches in diameter. If this tentative map subdivision results in trees 24 inches in diameter or greater on an undeveloped lot, they will then become private protected trees and will be subject to the permitting requirements per Sacramento City Code 12.56.

ADV3. Pursuant to Sacramento City Code 12.56, removal of private protected trees for the purposes of development requires a tree entitlement and at least a director-level hearing. The approval of a Tentative Map does not grant permission to remove any private protected trees on site. At the time of site plan and design review, Urban Forestry may require that the applicant submit an arborist report, including a tree inventory of all trees on site with their respective species, diameter, tree tag number, condition, and proposed action.

SRCSD:

ADV4. The City of Sacramento (City) is responsible for providing local sewer service to the proposed project site via their local sanitary sewer collection system. Regional San is responsible for the conveyance of wastewater from the City collection system to the EchoWater Resource Recovery Facility (EchoWater Facility).

SASD:

ADV5. Prior to the ISSUANCE OF A BUILDING PERMIT: The owner must contact Permit Services Unit at PermitServices@sacsewer.com or by phone at (916) 876-6100 to determine if Regional San impact fees are due. Fees are to be paid prior to the issuance of building permits.

Parks:

ADV6. As per City Code, the applicant will be responsible to meet his/her obligations regarding:

- a. Title 17, 17.512 Park Dedication / In Lieu (Quimby) Fees, due prior to recordation of the final map. The Quimby fee due for this project is estimated at \$12,832. This is based on the creation of one (1) new residential lot at an

average land value of \$100,000 per acre for the North Sacramento Community Plan Area, plus an additional 20% for off-site park infrastructure improvements. Any change in these factors will change the amount of the Quimby fee due. The final fee is calculated using factors at the time of payment. The fee is due at the time of the final map.

- b. Community Facilities District 2002-02, Neighborhood Park Maintenance CFD Annexation.

Site Plan and Design Review

Planning:

1. No construction or additions are allowed with this project approval.
2. Any changes, additions, or modifications shall require additional review and approval from Planning staff and may require additional entitlements.
3. This approval shall expire in three years from the approval date and may be extended consistent with the provisions in Sacramento City Code Section 17.828.170 and the Subdivision Map Act.

Deja Harris

Deja Harris
Associate Planner

Garrett Norman

Garrett Norman
Senior Planner

The decision of the Zoning Administrator and Design Director may be appealed to the Planning Commission. An appeal must be filed within 10 days of the Zoning Administrator's hearing. If an appeal is not filed, the action of the Zoning Administrator and Design Director is final.

Note: The applicant will need to contact the Public Works Department after the appeal period is over to submit for a Final Map.

A discretionary permit expires and is thereafter void if the use or development project for which the discretionary permit has been granted is not established within the applicable time period. The applicable time period is either three years from the effective date of approval of the discretionary permit; or the time specified by the decision-maker, if so stated

in a condition of approval of the discretionary permit. A use or development project that requires a building permit is established when the building permit is secured for the entire development project and construction is physically commenced.

TENTATIVE PARCEL MAP
1671 GLENROSE AVENUE
 SUBDIVISION NO. PXX-XXX

APN: 266-0271-003
 THE EAST 50 FEET OF THE WEST 100 FEET OF THE SOUTH HALF OF LOT 3 OF
 BLOCK L OF THE NORTH SACRAMENTO ADDITION NO. 4 SUBDIVISION IN THE
 CITY OF SACRAMENTO, COUNTY OF SACRAMENTO, STATE OF CALIFORNIA

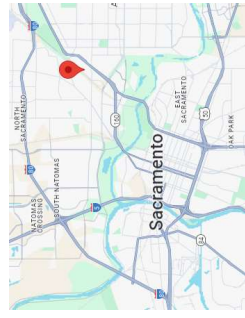
BASIS OF BEARINGS:
 THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CENTERLINE OF GLENROSE
 AVENUE AS SHOWN ON 224 PM 41, WHICH HAS THE BEARING OF N 89° 55' 00" W.

BENCHMARK:
 TEMPORARY BENCHMARK

FLOODPLAIN:
 SUBJECT PROPERTY IS LOCATED WITHIN ZONE "X" AREAS WITHIN ZONE "X"
 ARE DETERMINED TO BE OUTSIDE THE 100 YEAR FLOOD PLAIN FLOOD PLAN
 AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM. FLOOD
 INSURANCE RATE MAP COMMUNITY PANEL NO.: 8/16/2012

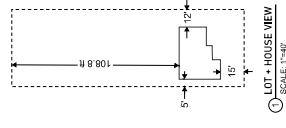
- LEGEND**
- DIMENSION POINT (NOTHING FOUND OR SET)
 - ✕ FOUND GASH (X)
 - PARCEL LINE TO REMAIN
 - - - NEW PARCEL LINE
 - PUBLIC ROAD EASEMENT LINE
 - EASEMENT LINE
 - ROAD CENTERLINE
 - OFF-SITE PROPERTY LINE
 - EXISTING SANITARY SEWER (COMBINED SEWER)
 - EXISTING WATERLINE

- REFERENCE DOCUMENTS**
- (1) 11 BM 38
 - (2) 39 PM 15
 - (3) 224 PM 41

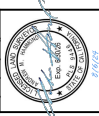


AUGUST 2024
 SCALE: 1" = 40'

 3359 PEACE COURT
 SACRAMENTO, CA 95628
 TEL: 755-762-5461
 EMAIL: andrew@elementengineering.com



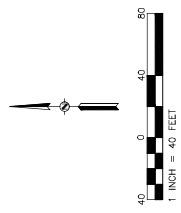
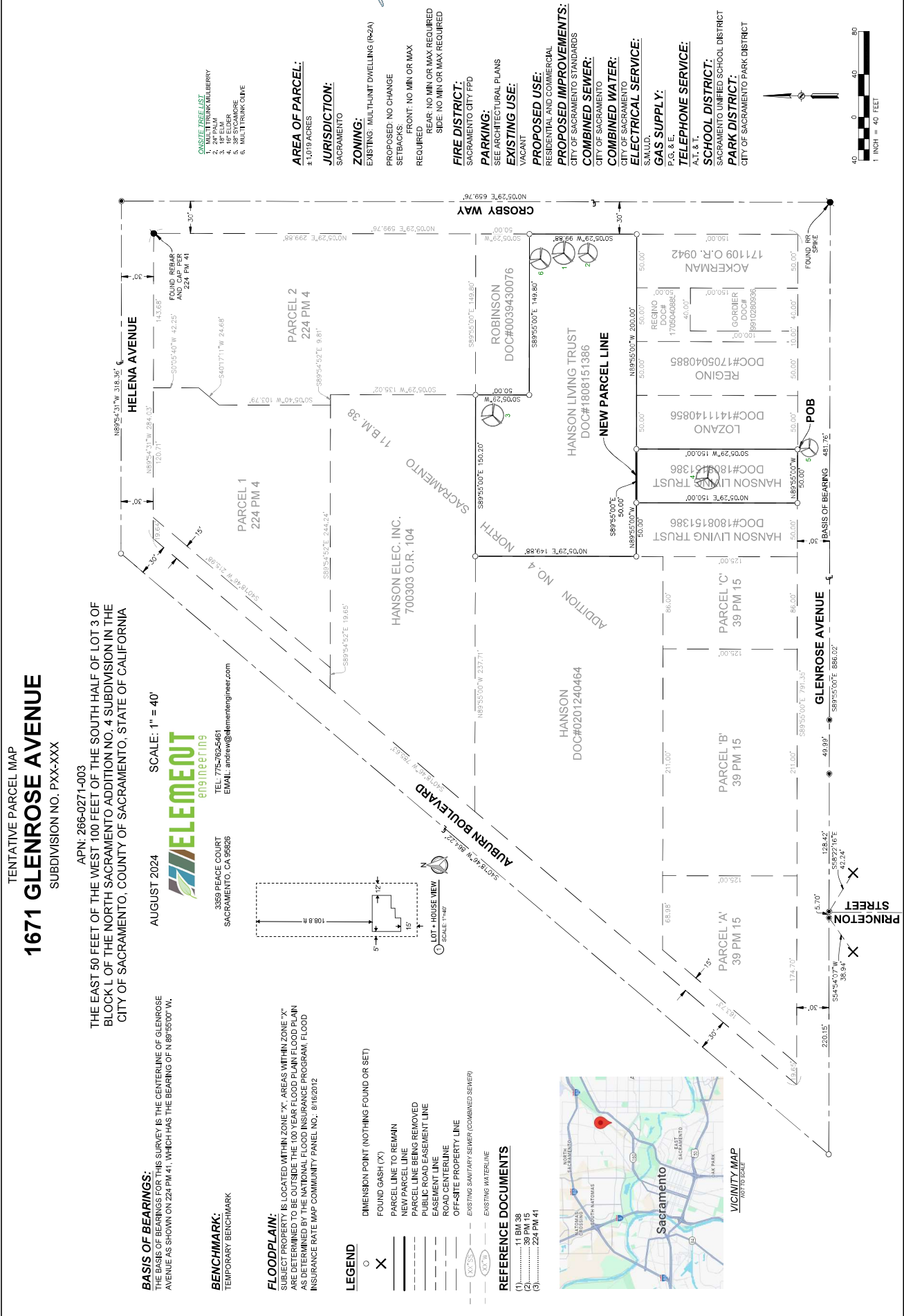
NO.	REVISION	DATE	BY	CHECK	DESIGN	QUANT.	ORIGINAL SCALE IS IN INCHES



CLIENT:
 KEVIN MARQUESS
 PH: (925) 577-5516

1671 GLENROSE AVE.
 APN: 266-0271-003
 SACRAMENTO, CA 95815

Sheet
22x34
 1 of 1
 8/5/2024



- CONSULT LIST:**
- 1. 24' PALM TREE/SHRUBBERY
 - 2. 24' PALM TREE/SHRUBBERY
 - 3. 16' ELDER
 - 4. 16' ELDER
 - 5. 3P SYCAMORE
 - 6. MULTITRUNK OLIVE

AREA OF PARCEL:
 ± 1.019 ACRES

JURISDICTION:
 SACRAMENTO

ZONING:
 EXISTING: MULTI-JUNIT DWELLING (R2A)

PROPOSED: NO CHANGE
 SETBACKS:
 REQUIRE: FRONT: NO MIN OR MAX
 REAR: NO MIN OR MAX REQUIRED
 SIDE: NO MIN OR MAX REQUIRED

FIRE DISTRICT:
 SACRAMENTO CITY FPD

PARKING:
 SEE ARCHITECTURAL PLANS

EXISTING USE:
 VACANT

PROPOSED USE:
 RESIDENTIAL AND COMMERCIAL

PROPOSED IMPROVEMENTS:
 CITY OF SACRAMENTO STANDARDS

COMBINED SEWER:
 CITY OF SACRAMENTO

COMBINED WATER:
 CITY OF SACRAMENTO

ELECTRICAL SERVICE:
 S.M.U.D.

GAS SUPPLY:
 P.G. & E.

TELEPHONE SERVICE:
 AT&T

SCHOOL DISTRICT:
 SACRAMENTO UNIFIED SCHOOL DISTRICT

PARK DISTRICT:
 CITY OF SACRAMENTO PARK DISTRICT

**CITY OF SACRAMENTO
COMMUNITY DEVELOPMENT DEPARTMENT
DIRECTOR HEARING
300 Richards Blvd, 3rd Floor, Sacramento, CA
95811**

STAFF RECOMMENDATION

Staff recommends the Design Director approve, with conditions, the site plan and design review for 52 income-restricted multi-unit dwellings and a tree permit to remove two city trees for the project known as file **DR25-006**. Draft Findings of Fact and Conditions of Approval for the project are included below.

REQUESTED ENTITLEMENTS

- A. **Environmental Determination** The project is determined to be exempt from CEQA under Public Resource Code 21155.4
- B. **Site Plan and Design Review** to construct a five-story, 48,352 square foot residential development with 52 income-restricted multi-unit dwellings within the General Commercial Zone (C-2-SPD), Central City Special Planning District, and the Central Core Design Review Area.
- C. **Tree permit** to remove two city trees.

PROJECT INFORMATION

Location: 815 11th St & 114 H St, Sacramento, CA 95814

District: 4

Assessor's Parcel Number: 006-0045-003-0000 & 006-0045-002-0000

Applicant: Danco Builders
Kirsten Thrap
5251 Ericson Way Ste A., Arcata, CA 95521

Property Owner: Sacramento 11th Street Limited Partnership
5251 Ericson Way Ste A, Arcata, CA 95521

Project Planner: Whitney Johnson, Assistant Planner, (916) 808-8947

Land Use Information

General Plan Designation: Residential Mixed Use
Community Plan Area: Central City
Zoning: General Commercial (C-2-SPD Zone)

Special Planning District: Central City SPD
 Design Review Area: Central Core (Central City)
 Existing Land Use of Site: Retail/Commercial

Surrounding Zoning and Land Use:

North:	(C-2-SPD)	Retail/Commercial
South:	(C-2-SPD)	Retail/Commercial
East:	(C-2-SPD)	Retail/Commercial
West:	(C-2-SPD)	Retail/Commercial

Site Information:

Existing Property Dimensions:	139' wide x 322' deep; Approx. 0.34 acres
Topography:	Flat
Street Improvements:	Existing
Utilities:	Existing

Setback Information:

	Required:	Proposed:
Front yard (North)	0' - 0"	0' - 2"
Rear yard (North)	0' - 0"	0' - 2"
Street side-yard (East)	0' - 0"	9' - 6"
Interior side-yard (North)	0' - 0"	35' - 0"

PROPOSED PROJECT ANALYSIS

Background

The project site is located in the Central City Central Business District in the Central City Community Plan Area. The site currently consists of a vacant commercial building and is directly adjacent to the income-restricted Central Sacramento Studios housing development. The applicant is proposing a five-story, 48,352 square foot, residential development with 52 income-restricted multi-unit dwellings as a second phase of the Central Sacramento Studios development. Part of the proposed project will be built on the same parcel as the first phase, and the parcels will ultimately be merged. The project will share the existing 57 parking spaces provided with the first phase of Central Sacramento Studios and provides ample long-term and short-term bicycle parking. The project is located within a well-established transit area and is walking distance to the State Capitol building. As designed the project is well integrated into the existing urban experience. The project also proposes approximately 1,335 square feet of amenity space, with the ground floor containing numerous public-facing spaces including fitness areas, gathering spaces, and tenant lobbies.

This request includes the removal of two city trees, which requires a Director Level public hearing to approve. The site plan and design review of the proposed development would

have been approved at a staff level barring the tree permit entitlement. There are no deviations proposed with this project.

Site Plan and Design Review

Site Plan and Design Review is required for the project to ensure compliance with applicable development standards and design guidelines. Site Plan and Design Review does not take into consideration the use for which the property will be used (SCC §17.808.110.B). The project is located within the General Commercial Zone (C-2-SPD), Central City Special Planning District, and the Central City Central Core Design Review Area. The proposed project complies with all applicable development standards within Title 17 and 2040 General Plan, as shown in Table 1 below.

Table 1: Applicable Development Standards				
Standard	Code Section	Required	Provided	Deviation?
Density	2040 General Plan	33 du/na min.	167	N
FAR	2040 General Plan	.03 - 8	2.76	N
Height	§17.444.090.D	85' Max.	52'-0"	N
Setbacks	§17.216.730	No min or max required	Varies	N
Open Space	§17.444.050.B.1	None	1,335 sq. ft.	N

Access, Circulation, and Parking

The subject site’s frontage is located off H Street and 11th Street, abutting with Terminal Way. The site is proposing to share a total of 57 existing parking spaces with its neighbor to the east and proposes one new van accessible parking spaces. Pedestrians will access the development through all street frontages with the main entries on H Street and 11th Street.

Pursuant to the 2040 General Plan’s Land Use Policy-4.14: Elimination of Vehicle Parking Minimums, “The City shall not require new or existing development to provide off-street vehicle parking spaces.” No new on-site parking spaces are required in the development.

This project meets bicycle parking requirements for multi-unit dwellings in the Central Business Parking District. Long-term bicycle storage is provided via a bike storage room with internal ground floor access. Short-term bicycle parking is located along the perimeter of the development within the public right of way. See Table 2 below for additional bicycle parking information.

Table 2: Central Business Parking District Bicycle Parking Requirements					
Use	Required		Provided		Deviation?
	Long-Term¹	Short-Term²	Long-Term	Short-Term	
Multi-Unit Dwelling – 252 Units	26	5	30	30	N

¹ 17.608.030.C: 1 space per 2 dwelling units or 2 spaces, whichever is greater

² 17.608.030.C: 1 space per 10 dwelling units or 2 spaces, whichever is greater

Resident Amenities and Open Space

Although open space is not required for multi-unit dwellings within the Central Business District of the Central City Special Planning District per Sacramento City Code Section 17.444.050, the project provides approximately 451 square feet of ground-floor open space and 885 square feet of rooftop terrace open space. Additional amenity space includes a fitness room with full-height glazing oriented towards H Street and 11th Street, providing “eyes on the street” and activating the public right-of-way. An expansive shared kitchen and dining area facing 11th Street further contributes to these objectives.

Architectural Analysis

This project must comply with standards listed within the Central City Neighborhood Design Guidelines. These guidelines seek to direct future growth in a manner that builds upon the existing context, including the neighborhood’s market strengths, cultural and social amenities, historic assets, and plan direction, while also acknowledging the potential for infill and modest growth.

The design of the project is consistent with the goals and policies of the Central City Neighborhood Design Guidelines in that the proposed modern architectural style integrates well into the existing urban experience. The ground floor contains numerous public-facing spaces including fitness areas, gathering spaces, and tenant lobbies. The architectural design focuses on efficiency, safety, and tenant opportunity, boasting a large open air roof terrace with sweeping views of the State Capitol, lush landscaping, and local art.

The use of large windows ensures ample natural light, creating bright and inviting public and living spaces. Solar shades provided on the exterior help mitigate solar heat gain. Large contrasting metal panels draw your eyes upward, showcasing the building’s height and stature. The introduction of bright, colorful murals softens the industrial materials grounding the building and bringing the eye back to street level. Lastly, the rooftop terrace will offer residents a communal space to relax and socialize with its elevated position on the southern end of the building, providing panoramic views of the city and the State’s Capitol building.

Central Studios’ design elevates the existing underutilized lot and elevates the pedestrian experience. The thoughtful design ensures that this multi-unit dwelling project will create an attractive, distinctive, and safe development with walkable activated streets and convenient transit, contributing positively to the community and the urban landscape.

2040 General Plan Consistency

The project site has a land use designation of Residential Mixed-Use (RMU). The RMU designation is intended to foster vibrant, walkable areas with a high intensity mix of residential, commercial, office, and public uses, where daily errands can be accomplished on foot, by bicycle, or by transit. The designation provides for a full range of residential, retail, employment, entertainment, cultural, and personal service uses serving a communitywide market, such as restaurants, apparel stores, specialty shops, theaters, bookstores, hotels and motels, and research and development facilities. The proposed development adheres to the RMU policies and overarching principles for a high-intensity transit-oriented residential development.

Tree Permit:

Pursuant to Sacramento City Code (SCC) chapter 12.56, the removal of City trees requires a tree permit. This project proposes to remove two (2) City trees, a 20-inch diameter Evergreen Pear tree, and a 9-inch diameter Valley Oak tree, identified as City trees TREE-68878 and TREE-68918, respectively, according to the City tree inventory and the Arborist report, by AEI Consultants Inc., dated 2/21/2025.

The trees are proposed for removal because they overhang the property boundary and conflict with the building placement. Pruning is not feasible to provide sufficient clearance without significantly harming tree health.

The applicant has provided a replacement plan that is consistent with the replacement requirement described in Sacramento City Code 12.56.060. The replacement plan includes the planting equivalent of 2 inches DSH in the form of new city street trees. The remaining replacement requirement of 27 inches shall be met with the payment of in-lieu fees totaling \$8,775.00 to be deposited to the Tree Planting and Replacement Fund.

PUBLIC / NEIGHBORHOOD OUTREACH AND COMMENTS

Property owners, tenants, and neighborhood groups within 500 feet of the subject site received notification of the public hearing occurring on Thursday, April 17th, 2025. Neighborhood associations that were notified for the hearing include Preservation Sacramento, Civic Thread, Sacramento Area Bicycle Advocates, Region Builders, Capitol Area R Street Neighborhood Association and Friends of Fremont Park, The Handle District (HBID), Midtown Association (PBID), and Midtown Neighborhood Association. Two letters of support were received from neighbors stating that revitalizing currently vacant spaces by repurposing them for housing is a great use and could help bring much needed customers to nearby businesses. No letters of opposition or other correspondence were received.

Environmental Considerations:

The project is determined to be exempt from the provisions of CEQA by statutory exemption under Public Resource Code 21155.4.

FLOOD HAZARD ZONE

State Law (SB 5) and Planning and Development Code chapter 17.810 require that the City must make specific findings prior to approving certain entitlements for projects within a

flood hazard zone. The purpose is to ensure that new development will have protection from a 200-year flood event or will achieve that protection by 2025. The project site is within a flood hazard zone and is an area covered by SAFCA's Improvements to the State Plan of Flood Control System, and specific findings related to the level of protection have been incorporated as part of this project. Even though the project site is within a flood hazard zone, the local flood management agency, SAFCA, has made adequate progress on the construction of a flood protection system that will ensure protection from a 200-year flood event or will achieve that protection by 2025. This is based on the SAFCA Urban level of flood protection plan, adequate progress baseline report, and adequate progress toward an urban level of flood protection engineer's report that were accepted by City Council Resolution No. 2016-0226 on June 21, 2016 and the SAFCA 2024 Adequate Progress Annual Report accepted by City Council Resolution No. 2024-0311 on October 22, 2024.

DRAFT FINDINGS OF FACT

Site Plan and Design Review:

1. The design, layout, and physical characteristics of the proposed project are consistent with the general plan and any applicable specific plan or transit village plan in that the proposal adheres to the goals and policies of the general plan land use designation of Residential Mixed Use.
2. The design, layout, and physical characteristics of the proposed project are consistent with all applicable design guidelines and with all applicable development standards in that the proposal meets all applicable development standards for the C-2 zone and the architectural design standards for the multi-unit dwelling design guidelines within the Central City Neighborhood Design Review Area.
3. All streets and other public access ways and facilities, parking facilities, and utility infrastructure are adequate to serve the subject site and comply with all applicable design guidelines and development standards.
4. The design, layout, and physical characteristics of the proposed project are visually and functionally compatible with the surrounding neighborhood in that the exterior design and massing of the project are compatible with the design of the surrounding large scale residential structures.
5. The design, layout, and physical characteristics of the proposed project ensure energy consumption is minimized and use of renewable energy sources is encouraged.
6. The design, layout, and physical characteristics of the proposed project are not detrimental to the public health, safety, convenience, or welfare of persons residing, working, visiting, or recreating in the surrounding neighborhood and will not result in the creation of a nuisance in that the proposal meets height and setback requirements and will not be a detriment to the neighborhood.
7. The project site is within an area for which the local flood-management agency has made adequate progress (as defined in California Government Code section 65007) on the

construction of a flood-protection system that, for the area intended to be protected by the system, will result in flood protection equal to or greater than the urban level of flood protection in urban areas for property located within a flood-hazard zone, as demonstrated by the SAFCA Urban Level of Flood Protection Plan and Adequate Progress Baseline Report and the SAFCA Adequate Progress Toward an Urban Level of Flood Protection Engineer's Report, each accepted by the City Council on June 21, 2016 (Resolution No. 2016-0226), and the SAFCA 2024 Adequate Progress Annual Report accepted by the City Council on October 22, 2024 (Resolution No. 2024-0311).

8. No net loss findings (Gov. Code, § 65863)

This project is located on a site listed in the 2021-2029 RHNA Housing Element Sites Inventory. This project proposes 52 units of Lower Income housing. The site assumes 3 units of Moderate-income housing. Thus, the project exceeds the assumed capacity in the Housing Element sites inventory.

Tree Permit:

9. The location of the two (2) City trees conflicts with the most feasible placement of the proposed building.
10. The replacement plan is consistent with the standards set forth in section 12.56.060 of the Tree Planting, Maintenance and Conservation Ordinance.

DRAFT CONDITIONS OF APPROVAL:

Planning / Design Review

1. The new multi-unit dwelling building shall be constructed per approved plans and conditions of approval.
2. Provide the following building materials on the multi-unit dwelling building as indicated per approved plans.
 - a. Standing seam metal roofing
 - b. Commercial grade rolled roofing
 - c. Clear finished wood plank under all eaves
 - d. Metal Ogee gutter and downspout
 - e. Metal panel siding, 2" box rib, copper finish
 - f. Metal panel siding, 4" box rib in zinc metallic finish
 - g. 7/8" cement plaster siding with control joints and anti-graffiti coating at building base
 - h. Horizontal flashing to match siding

- i. Fiber cement shingle siding, white
- j. Louvers and vents to match adjacent material coloration
- k. 7/8" cement plaster siding with decorative painting and or mural
- l. Terrace with glass safety guard railing and steel shade trellis with perforated metal panel roof
- m. Black vinyl fixed and casement windows with metal window shade
- n. Hollow metal doors, painted
- o. Powder coated railings with double top rail located at main entrances
- p. Powder coated freestanding canopy at entry court and 11th street entrance
- q. Decorative bike racks, powder coated to match building

General

3. All newly installed exterior wall-mounted and ground-mounted electrical service equipment, excluding transformers, must be completely concealed from all adjacent and approaching right-of-way views. Construction documents shall clearly illustrate compliance. Placement of all exterior electrical equipment, along with any necessary screening and details, must be shown on site plans, floor plans, and exterior elevations, while maintaining all service clearance requirements. Permanently supported solid, slatted, or louvered metal panel material only may be used. Openings in slatted material shall be less than 10%. All material shall be painted to match elements of building exterior finish.
4. All newly installed ground-mounted and roof-mounted mechanical equipment must be completely concealed from all adjacent and approaching right-of-way views. Construction documents shall clearly illustrate compliance. Placement of all exterior mechanical equipment, along with any necessary screening and details, must be shown on site plans, roof plans, and exterior elevations. Permanently supported solid, slatted, or louvered metal panel material only may be used. Openings in slatted material shall be less than 10%. Louvered material shall be positioned so spacing does not align with line of sight views. All material shall be painted to match elements of building exterior finish.

5. Lighting:

The type and location of the outdoor and exterior lighting (buildings, parking areas, etc.) shall be approved by Planning and Design Review staff during building plan check. Lighting shall be provided at the ground-level on all sides of the building and at each building entry.

Per Section 17.612.030(B), exterior lighting shall reflect away from public streets. Fixtures shall be unobtrusive and complementary to the architectural design of the

building. Lighting shall be designed so as not to produce hazardous and annoying glare to motorists and building occupants, adjacent residents, or the general public.

The design of the light fixtures within the surface parking area shall be reviewed and approved by Planning and Design Staff. A lighting and photometric plan shall be provided for review and approval as part of Building Permit documents.

6. A photometric plan shall be provided for all outdoor lighting in and around the site at the time of plan check. Any new building mounted lighting shall be subject to final review and approval by Planning staff.
7. Provide the required 5 short-term bicycle spaces and 26 long-term bicycle storage spaces as shown on the approved plans in accordance with Municipal Code section 17.608.040N.1 and 17.608.040N.2. Bicycle parking shall comply with the City's Bicycle Rack Design and Placement Design Standards.
8. CMU and painted steel trash enclosure with galvanized box rib roof and decorative metal panels.
9. Construct landscape improvements including all required irrigation, ground coverings, shrubs, and trees as shown on the final approved landscape plan exhibit.
10. Any work involving a city tree, private protected tree, or within the park strip requires a tree permit. If any work involving a city tree, private protected tree, or within the park strip a tree permit shall be obtained from Urban Forestry.
11. No signage has been reviewed or approved through the Site Plan and Design Review process. All future signage shall conform to the sign code standards found in SCC section 15.148.160 and shall be reviewed under the separate sign permitting process.
12. Planning In-progress inspections (93) shall be called for prior to the following Building Inspections: 10 Bldg-Foundation Forms, 12 Bldg-Concrete Slab Forms, and 19 Bldg-Frame. An 89 Planning Final shall be called for prior to 29 Building Final.
13. Contractor and design team shall contact Planning Site Conditions unit (Brad Marchetti – bmarchetti@cityofsacramento.org) for a Pre-construction meeting prior to any grading or construction activities on-site.
14. The applicant shall obtain all necessary building and encroachment permits prior to commencing construction. No permits shall be issued within the 10-day appeal period. The 10-day appeal period shall commence from April 17, 2025.
15. All other notes and drawings on the final plans as submitted by the applicant are deemed conditions of approval. Any work that differs from the final set of plans approved by the Planning staff shall be subject to review and approval prior to issuance of a building permit.
16. Any modifications to the approved project shall be subject to the review and approval of Planning staff (and may require additional entitlements).

17. This approval shall expire in three (3) years from the approval date.

Urban Forestry

18. The Tree Permit for the removal of two (2) City trees, TREE-68878 a 20-inch diameter Evergreen Pear and TREE-68918 a 9-inch diameter Valley Oak, according to the Arborist report, by AEI Consultants Inc., dated 2/21/2025 and related exhibits is approved with the following conditions:

- a. The applicant shall provide for the planting and irrigation of 2 inches DSH in the form of street trees according to the landscape plan and to the satisfaction of the City Urban Forester.
- b. The applicant shall satisfy the remaining 27 inches of replacement requirement with the payment of in-lieu fees in the amount of \$325/inch of diameter removed, totaling \$8,775.00 to be deposited to the Tree Planting and Replacement Fund.
- c. The applicant shall retain all trees permitted for removal until all fees associated with a building permit have been paid.

19. **General Tree Protection** – The applicant shall include the following Tree Preservation Measures in the General Notes, Grading Plans, Utility Plans, Demolition Plan, Landscape Plan and the offsite plans if the trees will be impacted by work proposed on each sheet

Required Tree Preservation Measures for City and Private Protected Trees

20. This project shall contract with a project arborist experienced with tree protection and construction that is required to:

- a. Attend the preconstruction meetings to approve of and inform contractors of all tree protection measures.
- b. Visit the site before and after demolition, grading and landscaping as well as at least twice each month during construction to ensure that tree protection measures are implemented and maintained.
- c. Be responsible for correcting any site conditions that may negatively impact the trees and revisit the site to ensure that corrective action was properly implemented.
- d. The project arborist shall report in writing to Urban Forestry all violations and tree protection failures along with corrective action taken and expected outcomes.

21. All concrete sidewalks and driveways shall be retained throughout construction to protect the roots and soil from the impacts of construction activities.

22. Existing driveways shall be used as the sole access to the site. Where there are no existing driveways, access shall be limited to a one or two locations outside the dripline of protected trees that have protection from soil compaction with the use of one or more of the following: A 6-inch layer of hardwood chips covered by ¾-inch plywood or trench plates, geotextile fabric covered by a 6-inch layer of hardwood chips or an alternative that is approved by the City Arborist.
23. Right-of-way planters and City trees shall be separated from the construction site with a six-foot high chain link fence that shall remain throughout the duration of the project to protect trees and to prevent construction traffic from compacting the soil in the planters.
24. Construction trailers and port-a-potties shall be placed on existing hardscape or bridged over the tree protection zone or planter so as not to compact soil.
25. Any Regulated Work within the dripline or Tree Protection Zone of a protected tree shall be separately permitted prior to the start of construction and supervised by a Qualified Arborist. Submit a tree permit application and a tree protection plan created by a Qualified Arborist to UrbanForestry@cityofsacramento.org and refer to the planning project number or off-site project number.
26. All excavation, grading or trenching within the dripline of a protected tree for the purpose of utility installation, constructing foundations, footings, sidewalks, curbs, gutters, or any other reason shall employ one of the following methods: Hydro-excavation, pneumatic excavation or hand digging and shall be directly supervised by a qualified arborist.
27. There shall be no excavation deeper than the existing excavation for sidewalks within the dripline of protected trees.
28. There shall be no grade changes within the dripline of protected trees. All grade changes shall be accommodated onsite.
29. There shall be no soil compaction within the dripline of protected trees.
30. There shall be no non-native soil, non-organic matter or structural soil added to the right-of-way planter.
31. The following is a list of activities that require a tree permit if they are to occur or be used within the right-of-way planter and/or within the tree protection zone of protected trees: any regulated work as defined in SCC 12.56, excavation, grade changes, trenches, root or canopy pruning or boring.
32. The following is a list of activities that are prohibited within the right-of-way planter and/or tree protection zone of protected trees: pedestrian and equipment traffic that could compact the soil or physically damage roots, parking vehicles, equipment and/or port-a-potties, storing of soil, construction materials, petroleum products, water or building refuse, disposing of wash water, paint, cement, fuel or other potentially damaging liquids and any other activities that may have negative impacts on the trees and soil.

33. All trees shall be watered regularly according to the recommendation of the project arborist.
34. The applicant shall be financially responsible for any damage to the city trees associated with the project. Accidental or negligent actions that damage city trees may result in a penalty. The monetary value of any such damages will be appraised by the City Urban Forester or his authorized representative and shall be expressed as the monetary equivalent of all labor and materials required to bring the tree in question to a state of comparable utility with regards to its condition and function prior to the beginning of the project.

Sacramento Area Sewer District

35. Before the ISSUANCE OF A BUILDING PERMIT: The owner must contact SacSewer Development Services at PermitServices@sacsewer.com or by phone at (916) 876-6100 to determine if SacSewer impact fees are due. Fees must be paid before the issuance of building permits.

Public Works

36. Construct standard public improvements as noted in these conditions pursuant to Title 17 of the City Code. Improvements shall be designed to City Standards and assured as set forth in Section 17.502.130 of the City Code. All improvements shall be designed and constructed to the satisfaction of the Department of Public Works. Any public improvement not specifically noted in these conditions shall be designed and constructed to City Standards. This shall include the repair or replacement/reconstruction of any existing deteriorated curb, gutter and sidewalk adjacent to the subject property along 11th Street, H Street and Terminal Way per City standards to the satisfaction of the Department of Public Works.
37. The applicant shall remove all existing driveways not proposed for use with the approved site plan and reconstruct the frontage improvements matching existing improvements per City standards and to the satisfaction of the Department of Public Works.
38. All right-of-way and street improvement transitions that result from changing the right-of-way of any street shall be located, designed and constructed to the satisfaction of the Department of Public Works.
39. The applicant shall apply for a revocable encroachment permit for any proposed encroachments onto the right of way (i.e. bike racks, awnings, etc.) and must meet all requirements of said permit to the satisfaction of the Department of Public Works.
40. All new and existing driveways shall be designed and constructed to City Standards to the satisfaction of the Department of Public Works.
41. Bulb outs/curb extensions are required where there is on-street parking in the central City area as directed by the Department of Public Works. Locations of bulb outs must be reviewed and approved by the City Traffic Engineer. The applicant shall construct

bulb-outs/ curb extension at the following locations to the satisfaction of Public Works:
a. South-east corner of 11th and H Street intersection

42. The site plan shall conform to A.D.A. requirements in all respects. This shall include the replacement of any curb ramp that does not meet current A.D.A. standards at the south-east corner of 11th and H Street intersection per City standards and to the satisfaction of the Department of Public Works.
43. The site plan shall conform to the parking standards set forth in City Code 17.608.040.
44. The applicant shall provide a signing and striping improvement plan if new signage or striping is proposed; or if existing signing and/or striping is removed or relocated. The plans shall be to the satisfaction of the Department of Public Works.
45. The design of walls, fences and signage near intersections and driveways shall allow stopping sight distance per Caltrans standards and comply with City Code Section 12.28.010 (25' sight triangle). Walls shall be set back 3' behind the sight line needed for stopping sight distance to allow sufficient room for pilasters. Landscaping in the area required for adequate stopping sight distance shall be limited to 3.5' in height at maturity. The area of exclusion shall be determined by the Department of Public Works.

Sacramento Police Department

Lighting:

46. Exterior lighting shall be white light using LED lamps with full cutoff fixtures to limit glare and light trespass. Color temperature shall be between 2700K and 4100K with a color rendering index of 80 or higher and a light loss factor of .95 or better. When choosing lamps, the applicant shall look for efficiency of 110 lumens per watt or better. All existing exterior fixtures shall be replaced with fixtures that meet this requirement.
47. Light poles, if applicable, shall be no higher than 16'.
48. Broken or damaged exterior lighting shall be repaired or replaced within 48 hours of being noted.
49. Entry drives, drive aisles, parking and bicycle parking shall be illuminated to a maintained minimum of 1.5 foot candles per square foot of parking area at a 6:1 average to minimum ratio.
50. Exterior walkways, alcoves and passageways shall be illuminated to a maintained minimum of 1/3 foot candles per square foot of surface area at a 6:1 average to minimum ratio.
51. Exterior lighting shall be designed in coordination with the landscaping plan to minimize interference between the light standards and required illumination and the landscape trees and required shading.

52. Exterior lighting shall be shielded or otherwise designed to avoid spill-over illumination to adjacent streets and properties.

Landscaping:

53. All mature landscaping shall follow the two-foot, six-foot rule. All landscaping shall be ground cover, two feet or less and lower tree canopies of mature trees shall be above six feet. This increases natural surveillance, eliminates hiding areas within the landscape, and provides for tenants and users a safer environment.
54. Tree canopies shall not interfere with or block lighting. This creates shadows and areas of concealment. The landscaping plan shall allow for proper illumination and visibility regarding lighting and surveillance cameras through the maturity of trees and shrubs.

Security:

55. Fencing, if applicable, shall be of decorative tubular steel, no climb type and a minimum of 6' in height.
56. A Video Assessment and Surveillance System (VASS) shall be installed at the site and maintained by a property management company, security company, or designee.
57. Manager with access to VASS storage shall be able to respond to any activation within two hours.
58. Cameras shall be day/night capable with a resolution of no less than two (2) megapixels and a minimum frame rate of 15 frames per second.
59. Each driveway entrance and each building entrance shall be covered by a camera set at 100 pixels per foot or higher.
60. VASS shall be capable of exporting footage to common media in a standard viewing format and shall not require proprietary software for third party viewing.
61. VASS shall be capable of storing no less than 30 days' worth of activity.
 - a. areas of ingress and egress
 - b. parking lots
 - c. coverage of all four (4) exterior sides of the property
 - d. adjacent public rights of way
 - e. main entrance to the building

- f. common areas
 - g. hallways
 - h. elevators
 - i. bike storage
62. All dumpsters shall be kept locked or in locked enclosures. Gating for dumpster enclosures should be slatted to allow visual surveillance of the interior.
 63. Exterior trash receptacles shall be of a design to prevent unauthorized removal of articles from the trash bin.
 64. Any graffiti painted or marked upon the premises or on any adjacent area under the control of the applicant shall be removed or painted over with matching paint within 72 hours of being applied.
 65. If community laundry rooms are provided, machines shall only operate on pre-loaded debit cards issued by management.
 66. Exterior benches shall be constructed so as to deter skateboarding (e.g., center armrest partitions).
 67. Property management shall be responsible for the daily removal of all litter from the site.
 68. Applicant shall install a law enforcement "Knox Box" for police access to common areas on the premises, including, but not limited to the main entrance for EACH building, main entrance gate, etc. If elevators can only be operated via electronic access card, management shall ensure a card is placed in the exterior knox box.
 69. Applicant shall employ uniformed security to respond to on-site disturbances 24/7. The contracted security company shall be registered and in good standing with the Bureau of Security and Investigative Services (BSIS). Applicant may request a modification of this condition at any time. Any request for modification shall be in writing and submitted to the Sergeant of the Sacramento Police Department's CPTED unit, or designee, and specify the desired modification(s). The Sacramento Police Department will evaluate the modification request and will respond within 30 days of receipt of the request.

During Construction:

70. The applicant shall enclose the entire perimeter of the project with a chain link fence with necessary construction gates to be locked after normal construction hours.
71. The location shall be monitored by security after normal construction hours during all phases of construction. This can be done via remote camera monitoring.
72. Adequate security lighting shall be provided to illuminate vulnerable equipment and materials. Lighting shall be white light with full cut off fixtures

PG&E

73. Buildings and Other Structures: No buildings or other structures including the foot print and eave of any buildings, swimming pools, wells or similar structures will be permitted within fee strip(s) and/or easement(s) areas. PG&E's transmission easement shall be designated on subdivision/parcel maps as **"RESTRICTED USE AREA – NO BUILDING."**
74. Grading: Cuts, trenches or excavations may not be made within 25 feet of our towers. Developers must submit grading plans and site development plans (including geotechnical reports if applicable), signed and dated, for PG&E's review. PG&E engineers must review grade changes in the vicinity of our towers. No fills will be allowed which would impair ground-to conductor clearances. Towers shall not be left on mounds without adequate road access to base of tower or structure.
75. Fences: Walls, fences, and other structures must be installed at locations that do not affect the safe operation of PG&E's facilities. Heavy equipment access to our facilities must be maintained at all times. Metal fences are to be grounded to PG&E specifications. No wall, fence or other like structure is to be installed within 10 feet of tower footings and unrestricted access must be maintained from a tower structure to the nearest street. Walls, fences and other structures proposed along or within the fee strip(s) and/or easement(s) will require PG&E review; submit plans to PG&E Centralized Review Team for review and comment.
76. Landscaping: Vegetation may be allowed; subject to review of plans. On overhead electric transmission fee strip(s) and/or easement(s), plant only low-growing shrubs under the wire zone and only grasses within the area directly below the tower. Along the border of the transmission line right-of-way, plant only small trees no taller than 10 feet in height at maturity. PG&E must have access to its facilities at all times, including access by heavy equipment. No planting is to occur within the footprint of the tower legs. Greenbelts are encouraged.
77. Reservoirs, Sumps, Drainage Basins, and Ponds: Prohibited within PG&E's fee strip(s) and/or easement(s) for electric transmission lines.
78. Automobile Parking: Short term parking of movable passenger vehicles and light trucks (pickups, vans, etc.) is allowed. The lighting within these parking areas will need to be reviewed by PG&E; approval will be on a case by case basis. Heavy equipment access to PG&E facilities is to be maintained at all times. Parking is to clear PG&E structures by at least 10 feet. Protection of PG&E facilities from vehicular traffic is to be provided at developer's expense AND to PG&E specifications. Blocked-up vehicles are not allowed. Carports, canopies, or awnings are not allowed.
79. Storage of Flammable, Explosive or Corrosive Materials: There shall be no storage of fuel or combustibles and no fueling of vehicles within PG&E's easement. No trash bins or incinerators are allowed.
80. Streets and Roads: Access to facilities must be maintained at all times. Street lights may be allowed in the fee strip(s) and/or easement(s) but in all cases must be reviewed by PG&E for proper clearance. Roads and utilities should cross the

transmission easement as nearly at right angles as possible. Road intersections will not be allowed within the transmission easement.

81. Pipelines: Pipelines may be allowed provided crossings are held to a minimum and to be as nearly perpendicular as possible. Pipelines within 25 feet of PG&E structures require review by PG&E. Sprinklers systems may be allowed; subject to review. Leach fields and septic tanks are not allowed. Construction plans must be submitted to PG&E for review and approval prior to the commencement of any construction.
82. Signs: Signs are not allowed except in rare cases subject to individual review by PG&E.
83. Recreation Areas: Playgrounds, parks, tennis courts, basketball courts, barbecue and light trucks (pickups, vans, etc.) may be allowed; subject to review of plans. Heavy equipment access to PG&E facilities is to be maintained at all times. Parking is to clear PG&E structures by at least 10 feet. Protection of PG&E facilities from vehicular traffic is to be provided at developer's expense AND to PG&E specifications
84. Construction Activity: Since construction activity will take place near PG&E's overhead electric lines, please be advised it is the contractor's responsibility to be aware of, and observe the minimum clearances for both workers and equipment operating near high voltage electric lines set out in the High-Voltage Electrical Safety Orders of the California Division of Industrial Safety (<https://www.dir.ca.gov/Title8/sb5g2.html>), as well as any other safety regulations. Contractors shall comply with California Public Utilities Commission General Order 95 (http://www.cpuc.ca.gov/gos/GO95/go_95_startup_page.html) and all other safety rules. No construction may occur within 25 feet of PG&E's towers. All excavation activities may only commence after 811 protocols has been followed. Contractor shall ensure the protection of PG&E's towers and poles from vehicular damage by (installing protective barriers) Plans for protection barriers must be approved by PG&E prior to construction.
85. PG&E is also the owner of distribution facilities throughout many of the areas within the state of California. Therefore, any plans that impact PG&E's facilities must be reviewed and approved by PG&E to ensure that no impact occurs that may endanger the safe and reliable operation of its facilities.

Solid Waste

86. Project must meet the requirements outlined in City Code Chapter 13.10, 13.24 and 17.616.
87. The trash room of each building must have sufficient space to accommodate bins for trash ,recycling, and organics. Containers may be used with an increase in collection frequency as an alternative to bins. Minimum service levels for recycling and organics can be found in Chapter 13.24.600. Trash and organics must be serviced at weekly and recycling must be serviced at least monthly.
88. Solid waste trucks must be able to safely move about the project, with minimum backing, and able to empty the bins and cans safely.

89. This project may be required to submit a Construction and Demolition (C&D) Debris plan, as outlined on the City's website at <https://www.cityofsacramento.gov/public-works/recycling-solidwaste/Commercialwasteservices/construction---demolition-recycling>.

Department of Utilities

90. Per City Code Section, 13.04.070, multiple water service to a single lot or parcel may be allowed if approved by DOU Development Review and Operations and Maintenance staff. Any new water services (other than fire) shall be metered. Excess services shall be abandoned to the satisfaction of the DOU. (Note: Tapping to the 36-inch City water transmission Main in 11th Street and H Street is not allowed.)
91. Prior to or concurrent with the submittal of improvement plans, prepare a project specific water study for review and approval by the DOU. The water system shall be designed to satisfy the more critical of the two following conditions: (1) at maximum day peak hour demand, the operating or "residual" pressure at all water service connections shall be at least 30 pounds per square inch, (2) at average maximum day demand plus fire flow, the operating or "residual" pressure in the area of the fire shall not be less than 20 pounds per square inch. The water study shall determine if the existing and proposed water distribution system is adequate to supply fire flow demands for the project. Failure to submit the water study may delay review and approval.
92. A water supply test will be required for this project. The applicant is advised to contact the City of Sacramento Utilities Department Development Review Section (916-808-7890) at the early planning stages to address any water related requirements.
93. The 6-in public water main and 8-in public combined sewer main in Terminal Way may be required to be upsized, depending on the results of the project specific water study and sewer study and/or as determined by the DOU.
94. This project is served by the Combined Sewer System (CSS). Therefore, the developer/property owner will be required to pay the Combined Sewer System Development Fee prior to the issuance of building permit. The fee will be used for improvements to the CSS. The applicant is recommended to contact the Department of Utilities Development Services at 916-808-7890 for a CSS fee estimate.
95. All increases in sewer flow shall be mitigated. The proposed project is contributing increased sewer flows to the CSS and shall evaluate the available capacity of existing CSS mains from the project's point of service to the nearest 18-inch main. If any portion of the City mains to the nearest 18-inch main is determined to have insufficient capacity to accommodate the increased sewer flow, the development shall be required to improve the undersized mains to the nearest 18-inch main. The applicant is advised to contact the City of Sacramento Utilities Department Sewer Planning Section (916-808-7890) at the early planning stages to address any sewer related requirements.
96. The applicant shall pay the Drainage Impact Fee or provide onsite drainage mitigation meeting the current Onsite Design Manual requirements. To meet the onsite detention requirement, 7,600 cubic feet of detention must be provided per each additional acre

of impervious area. The maximum discharge rate must be limited to 0.18 cfs/acre. The applicant is advised to contact the City of Sacramento Utilities Department Development Review Section (916-808-7890) at the early planning stages to address any onsite drainage related requirements. Failure to submit the drainage study may delay review and approval. (Note: A maintenance agreement may be required for detention and Low Impact Development (LID) features.).

97. The onsite water, sewer and storm drain systems shall be private systems maintained by the or other approved entity.
98. Finished floor elevations shall be a minimum of 6-inches above the 100-year HGL or 1-foot above the overland flow release elevation, whichever is higher or as approved by the DOU.
99. Per City Code, the applicant may not develop the project in any way that obstructs, impedes, or interferes with the natural flow of existing off-site drainage that crosses the property. The project shall construct the required public and/or private infrastructure to handle off-site runoff to the satisfaction of the DOU. If private infrastructure is constructed to handle off-site runoff, the applicant shall dedicate the required private easements, and/or, at the discretion of the DOU, the applicant shall enter into and record an Agreement for Maintenance of Drainage with the City, in a form acceptable to the City Attorney.
100. No more than 6,000 square feet is allowed to sheet drain over a public sidewalk. If the area is larger than 6,000 square feet, then an on-site surface drainage system is required and shall be connected to the street drainage system by means of a storm drain service tap. All on-site drainage systems shall be designed to the standard specified in the DOU onsite design manual.
101. A grading plan showing existing and proposed elevations is required. Adjacent off-site topography shall also be shown to the extent necessary to determine impacts to existing surface drainage paths. No grading shall occur until the grading plan has been reviewed and approved by the DOU.
102. The applicant must comply with the City of Sacramento's Grading, Erosion and Sediment Control Ordinance. This ordinance requires the applicant to show erosion and sediment control methods on the construction drawings. These plans shall also show the methods to control urban runoff pollution from the project site during construction

Advisory :

ADV.1. **Parks and Planning Division** Title 18, 18.56 Park Development Impact Fee, due at the time of issuance of building permit. The Park Development Impact Fee is estimated at \$106,374. The Park Development Impact Fee due for this project is based on the Central City Incentive Zone Rate of \$2.20 per square foot for residential projects, with a minimum rate of \$1,634 for units under 750 square feet and a maximum of \$4,360 for units over 2,000 square feet. The applicant would likely receive credit for the demolition of the existing structures. Any change in these factors will change the amount of the PIF due. The fee is calculated using factors at

the time that the project is submitted for building permit. Community Facilities District 2002-02, Neighborhood Park Maintenance CFD Annexation.

ADV.2. Sacramento Police Department City of Sacramento permits must be obtained for private patrol, alarms, and camera systems.

ADV.3. Sacramento Building Department

The plans are required to comply with the California Building Standards Code (California Code of Regulations Title 24 Volumes 1-12) If the structures will be classified as R-2 occupancies, please provide the following at the time these plans are submitted to the building department for permit issuance:

Please determine if the ownership, operation, program participation, or funding of this project, either in whole or in part, falls within the definition of "Public Housing" and/or "Public Use" as defined in CBC Section 202.

a) If public housing or public use:

- Indicate on the plans that the code standard for accessible access is CBC Chapter 11B.
- Specify the locations of all accessible unit entries on the plans and provide detailing for an accessible route of travel as required by CBC Sections 11B-233 and 11B-206.
- Include necessary details to demonstrate compliance with all applicable requirements of CBC Section 11B-233.

b) If not public housing or public use:

Include language on the plans under the project information section stating, "Due to the ownership, operation, and nature of funding, this project is not considered public housing, and CBC Chapter 11A is the applicable standard for housing accessibility."

All newly constructed Covered Multifamily Dwellings are subject to the requirements of CBC Section 11A, including site work.

Newly constructed covered multifamily dwellings, which can also be defined a public housing, shall be subject to the requirements of Chapter 11A and Chapter 11B.

A lot merger will be required prior to permit approval, as a portion of the proposed new building is located on the adjacent parcel (1114 H St). Although both parcels are under the same ownership, structures cannot extend across parcel lines. The parcels must be merged into a single parcel to proceed with approval.

ADV.4. Department of Utilities

The proposed project is located in a Zone X on the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Maps (FIRMs). Accordingly, the project site lies in an area with no requirements to elevate or flood proof.

Water meters shall be located at the point of service, which is back of curb for separated sidewalks or back of walk for connected sidewalks.

On October 24, 2023, and November 14, 2023, City Council adopted Resolutions 2023-0338 and 2023-0368, respectively, to adjust the Water System, Sewer, and Combined Sewer Development Fees, as well as establish the Storm Drainage Development Fee to align with updated Nexus Studies. These resolutions provide for an effective date for the new Utility Development Fees as of January 22, 2024.

ADV.5. Sacramento Fire Department Upon submitting improvement plans for review, provide a water flow test. (Make arrangements with the Department of Utilities at 916-808-7890 or by email at DOUdevelopmentreview@cityofsacramento.org, California Fire Code Section 507.4

Upon submitting improvement plans for review, identify that appropriate Knox access for the site and any structures has been provided. California Fire Code Section 506

Upon submitting improvement plans for review, identify that Fire Department Connections (FDCs) have been provided on address side of building no farther than 50 feet and no closer than 15 feet from a fire hydrant and not more than 30 feet from a paved roadway.

Upon submitting improvement plans for review, identify that standpipe hose valves will be provided at the intermediate landing levels of stairways as required by the Sacramento Fire Official. CFC Section 905.4(1) and CBC 909.20.2.3

Upon submitting improvement plans for review, provide notation on plans that Emergency Responder Radio Coverage may be required. Testing shall be conducted by an authorized technician to verify compliance with section 510, California Fire Code. This test shall verify that the building will support the Sacramento City Fire Department Radio Communication System. This test shall be performed in accordance with California Fire Code Section 510.4.1.

ATTACHMENTS:

Exhibit A: Site Plan, Floor Plan, Elevations.

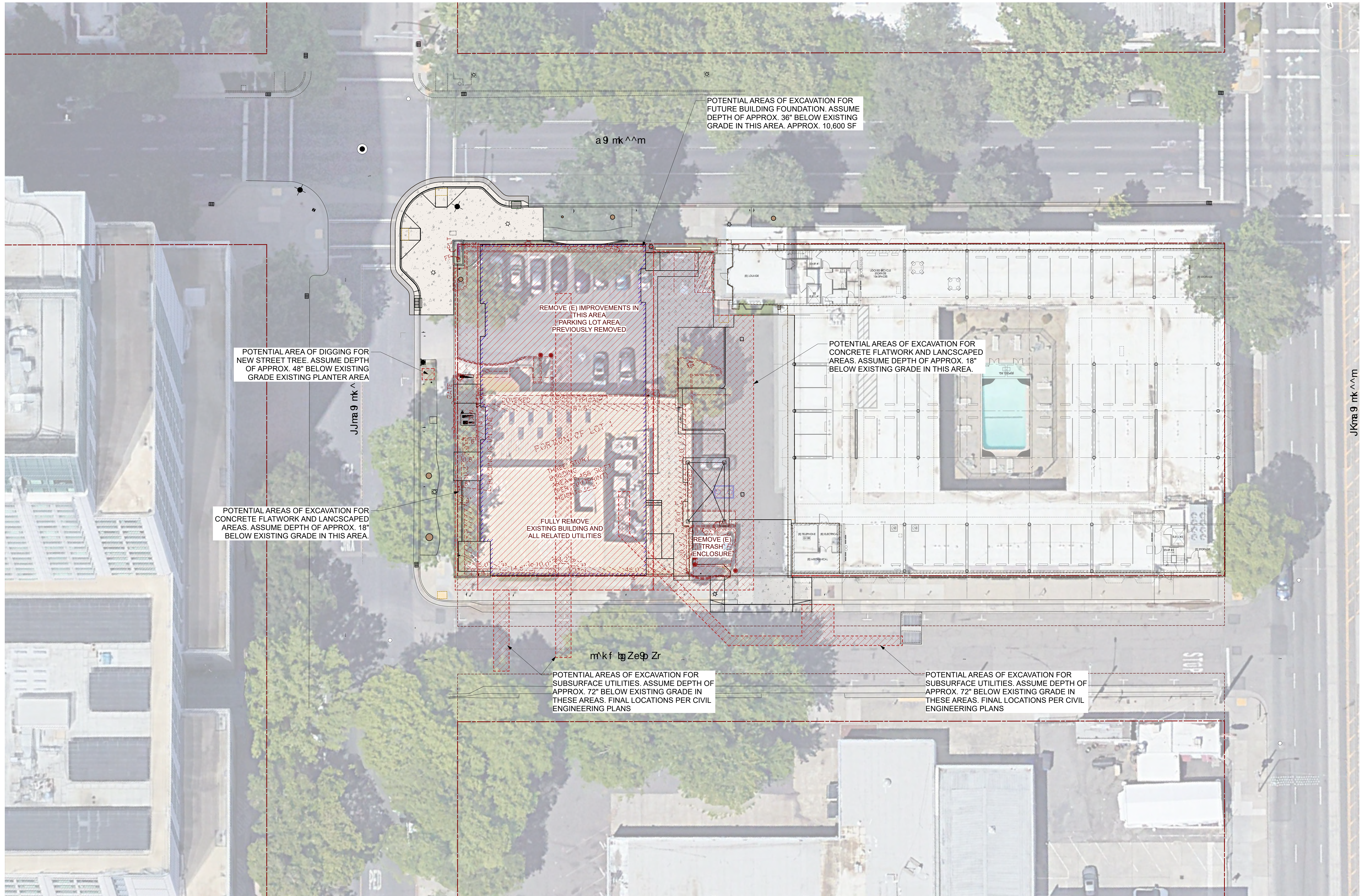
Exhibit B: Arborist Report



Whitney Johnson
Assistant Planner



Matthew Sites, AIA, LEED AP
Senior Architect



POTENTIAL AREA OF DIGGING FOR NEW STREET TREE. ASSUME DEPTH OF APPROX. 48" BELOW EXISTING GRADE EXISTING PLANTER AREA

POTENTIAL AREAS OF EXCAVATION FOR CONCRETE FLATWORK AND LANDSCAPED AREAS. ASSUME DEPTH OF APPROX. 18" BELOW EXISTING GRADE IN THIS AREA.

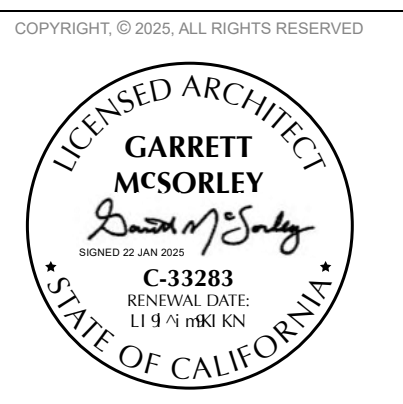
POTENTIAL AREAS OF EXCAVATION FOR FUTURE BUILDING FOUNDATION. ASSUME DEPTH OF APPROX. 36" BELOW EXISTING GRADE IN THIS AREA. APPROX. 10,600 SF

POTENTIAL AREAS OF EXCAVATION FOR CONCRETE FLATWORK AND LANDSCAPED AREAS. ASSUME DEPTH OF APPROX. 18" BELOW EXISTING GRADE IN THIS AREA.

POTENTIAL AREAS OF EXCAVATION FOR SUBSURFACE UTILITIES. ASSUME DEPTH OF APPROX. 72" BELOW EXISTING GRADE IN THESE AREAS. FINAL LOCATIONS PER CIVIL ENGINEERING PLANS

POTENTIAL AREAS OF EXCAVATION FOR SUBSURFACE UTILITIES. ASSUME DEPTH OF APPROX. 72" BELOW EXISTING GRADE IN THESE AREAS. FINAL LOCATIONS PER CIVIL ENGINEERING PLANS

1 SITE PLAN - OVERALL EXISTING / DEMOLITION
Scale: 1/16" = 1'-0"



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APPLICANT:
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City of SACRAMENTO

a c l r p _ j q _ a p _ k c l r m q r s b g m q z
NEW 5-STORY SUPPORTIVE HOUSING COMMUNITY
815 11th STREET
SACRAMENTO, CALIFORNIA, 95814
CITY OF SACRAMENTO
ASSESSOR PARCEL NUMBER: 006-0045-003 & 006-0045-002

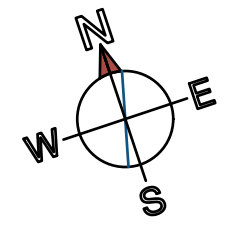
SITE PLAN
OVERALL EXISTING /
DEMOLITION

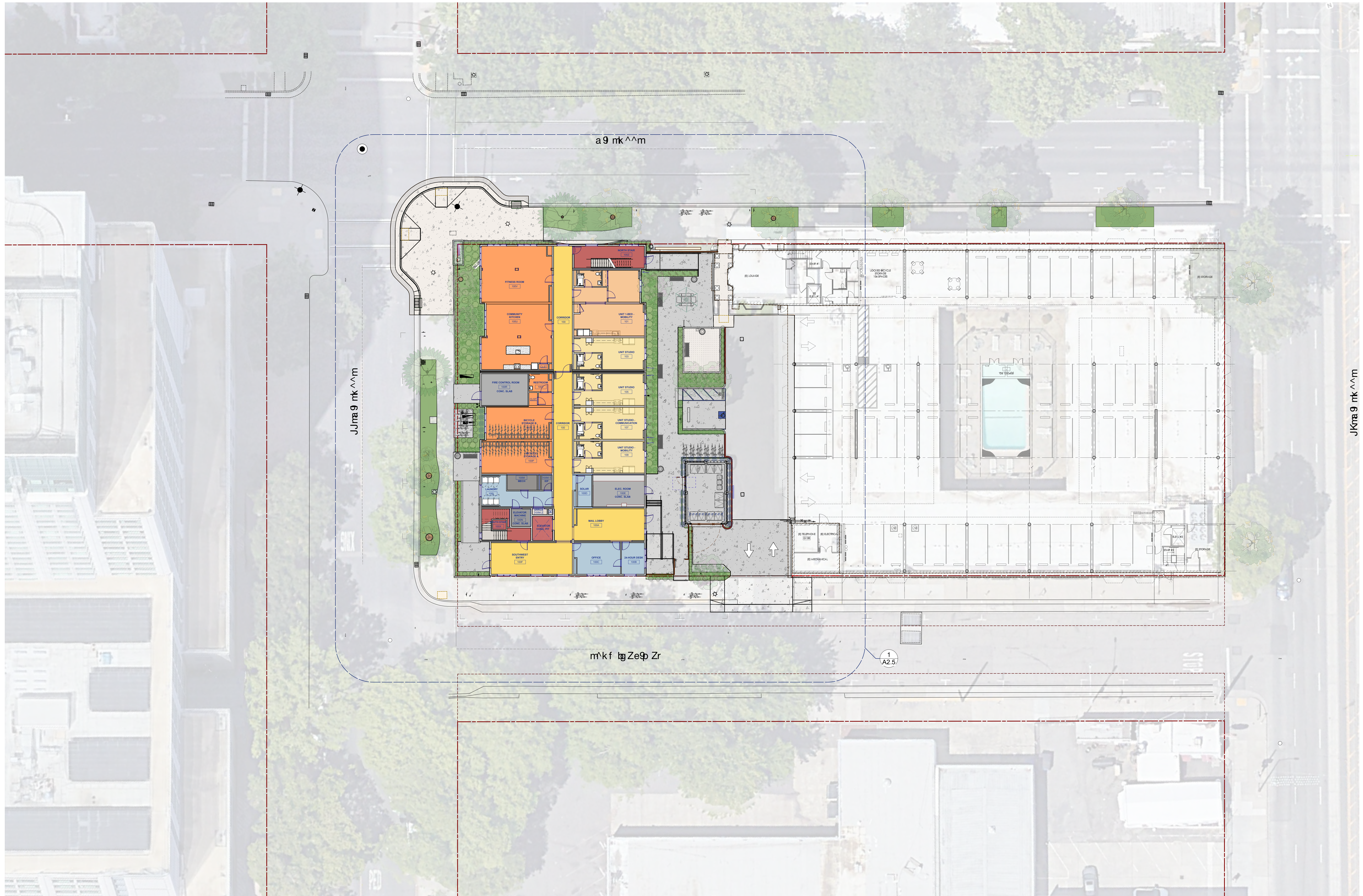
DRAWING STATUS:
FOR DESIGN
REVIEW APPROVAL
ISSUE DATE:
14 MARCH 2025



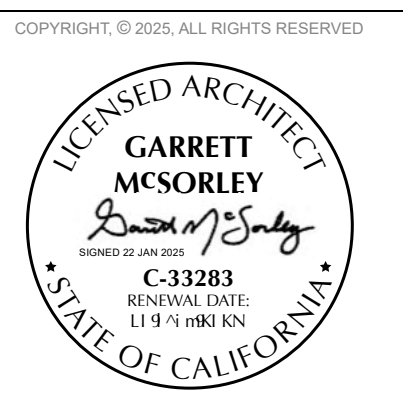
SHEET NO.

A2.1





1 OVERALL PROPOSED SITE PLAN
Scale: 1/16" = 1'-0"



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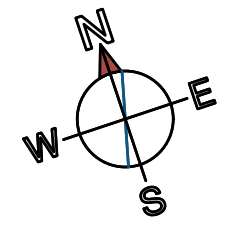
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NEW 5-STORY SUPPORTIVE HOUSING COMMUNITY
815 11th STREET
SACRAMENTO, CALIFORNIA, 95814
CITY OF SACRAMENTO
ASSESSOR PARCEL NUMBER: 006-0045-003 & 006-0045-002

**SITE PLAN
OVERALL PROPOSED**

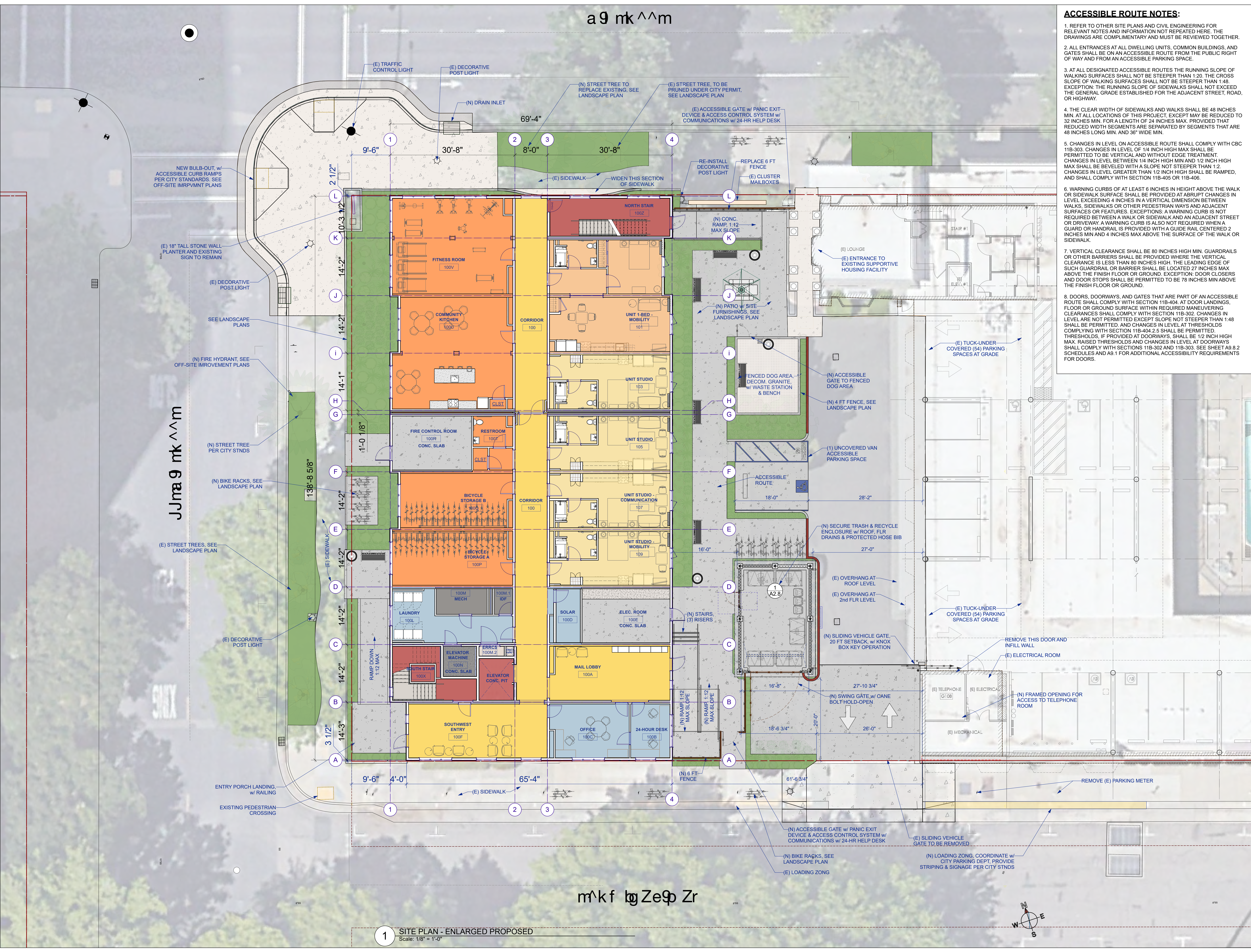
DRAWING STATUS:
**FOR DESIGN
REVIEW APPROVAL**
ISSUE DATE:
14 MARCH 2025

SHEET NO.

A2.2



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- ACCESSIBLE ROUTE NOTES:**
- REFER TO OTHER SITE PLANS AND CIVIL ENGINEERING FOR RELEVANT NOTES AND INFORMATION NOT REPEATED HERE. THE DRAWINGS ARE COMPLEMENTARY AND MUST BE REVIEWED TOGETHER.
 - ALL ENTRANCES AT ALL DWELLINGS UNITS, COMMON BUILDINGS, AND GATES SHALL BE ON AN ACCESSIBLE ROUTE FROM THE PUBLIC RIGHT OF WAY AND FROM AN ACCESSIBLE PARKING SPACE.
 - AT ALL DESIGNATED ACCESSIBLE ROUTES THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:20. THE CROSS SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:48. EXCEPTION: THE RUNNING SLOPE OF SIDEWALKS SHALL NOT EXCEED THE GENERAL GRADE ESTABLISHED FOR THE ADJACENT STREET, ROAD, OR HIGHWAY.
 - THE CLEAR WIDTH OF SIDEWALKS AND WALKS SHALL BE 48 INCHES MIN. AT ALL LOCATIONS OF THIS PROJECT, EXCEPT MAY BE REDUCED TO 32 INCHES MIN. FOR A LENGTH OF 24 INCHES MAX. PROVIDED THAT REDUCED WIDTH SEGMENTS ARE SEPARATED BY SEGMENTS THAT ARE 48 INCHES LONG MIN. AND 36" WIDE MIN.
 - CHANGES IN LEVEL ON ACCESSIBLE ROUTE SHALL COMPLY WITH CBC 11B-303. CHANGES IN LEVEL OF 1/4 INCH HIGH MAX SHALL BE PERMITTED TO BE VERTICAL AND WITHOUT EDGE TREATMENT. CHANGES IN LEVEL BETWEEN 1/4 INCH HIGH MIN AND 1/2 INCH HIGH MAX SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2. CHANGES IN LEVEL GREATER THAN 1/2 INCH HIGH SHALL BE RAMPED, AND SHALL COMPLY WITH SECTION 11B-405 OR 11B-406.
 - WARNING CURBS OF AT LEAST 6 INCHES IN HEIGHT ABOVE THE WALK OR SIDEWALK SURFACE SHALL BE PROVIDED AT ABRUPT CHANGES IN LEVEL EXCEEDING 4 INCHES IN A VERTICAL DIMENSION BETWEEN WALKS, SIDEWALKS OR OTHER PEDESTRIAN WAYS AND ADJACENT SURFACES OR FEATURES. EXCEPTIONS: A WARNING CURB IS NOT REQUIRED BETWEEN A WALK OR SIDEWALK AND AN ADJACENT STREET OR DRIVEWAY. A WARNING CURB IS ALSO NOT REQUIRED WHEN A GUARD OR HANDRAIL IS PROVIDED WITH A GUIDE RAIL CENTERED 2 INCHES MIN AND 4 INCHES MAX ABOVE THE SURFACE OF THE WALK OR SIDEWALK.
 - VERTICAL CLEARANCE SHALL BE 80 INCHES HIGH MIN. GUARDRAILS OR OTHER BARRIERS SHALL BE PROVIDED WHERE THE VERTICAL CLEARANCE IS LESS THAN 80 INCHES HIGH. THE LEADING EDGE OF SUCH GUARDRAIL OR BARRIER SHALL BE LOCATED 27 INCHES MAX ABOVE THE FINISH FLOOR OR GROUND. EXCEPTION: DOOR CLOSERS AND DOOR STOPS SHALL BE PERMITTED TO BE 78 INCHES MIN ABOVE THE FINISH FLOOR OR GROUND.
 - DOORS, DOORWAYS, AND GATES THAT ARE PART OF AN ACCESSIBLE ROUTE SHALL COMPLY WITH SECTION 11B-404. AT DOOR LANDINGS, FLOOR OR GROUND SURFACE WITHIN REQUIRED MANEUVERING CLEARANCES SHALL COMPLY WITH SECTION 11B-302. CHANGES IN LEVEL ARE NOT PERMITTED EXCEPT SLOPE NOT STEEPER THAN 1:48 SHALL BE PERMITTED. AND CHANGES IN LEVEL AT THRESHOLDS COMPLYING WITH SECTION 11B-404.2.5 SHALL BE PERMITTED. THRESHOLDS, IF PROVIDED AT DOORWAYS, SHALL BE 1/2 INCH HIGH MAX. RAISED THRESHOLDS AND CHANGES IN LEVEL AT DOORWAYS SHALL COMPLY WITH SECTIONS 11B-302 AND 11B-303. SEE SHEET A9.8.2 SCHEDULES AND A9.1 FOR ADDITIONAL ACCESSIBILITY REQUIREMENTS FOR DOORS.

LICENSED ARCHITECT
GARRETT MCSORLEY
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 EXPIRES 12/31/2024
 STATE OF CALIFORNIA

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City of
SACRAMENTO

a c l r p _ j q _ a p _ k c l r m q r s b g m q z

NEW 5-STORY SUPPORTIVE HOUSING COMMUNITY

815 11th STREET
 SACRAMENTO, CALIFORNIA, 95814
 CITY OF SACRAMENTO
 ASSESSOR PARCEL NUMBER: 006-0045-003 & 006-0045-002

SITE PLAN
ENLARGED PROPOSED

DRAWING STATUS:
FOR DESIGN REVIEW APPROVAL
 ISSUE DATE:
14 MARCH 2025

SHEET NO.

A2.5

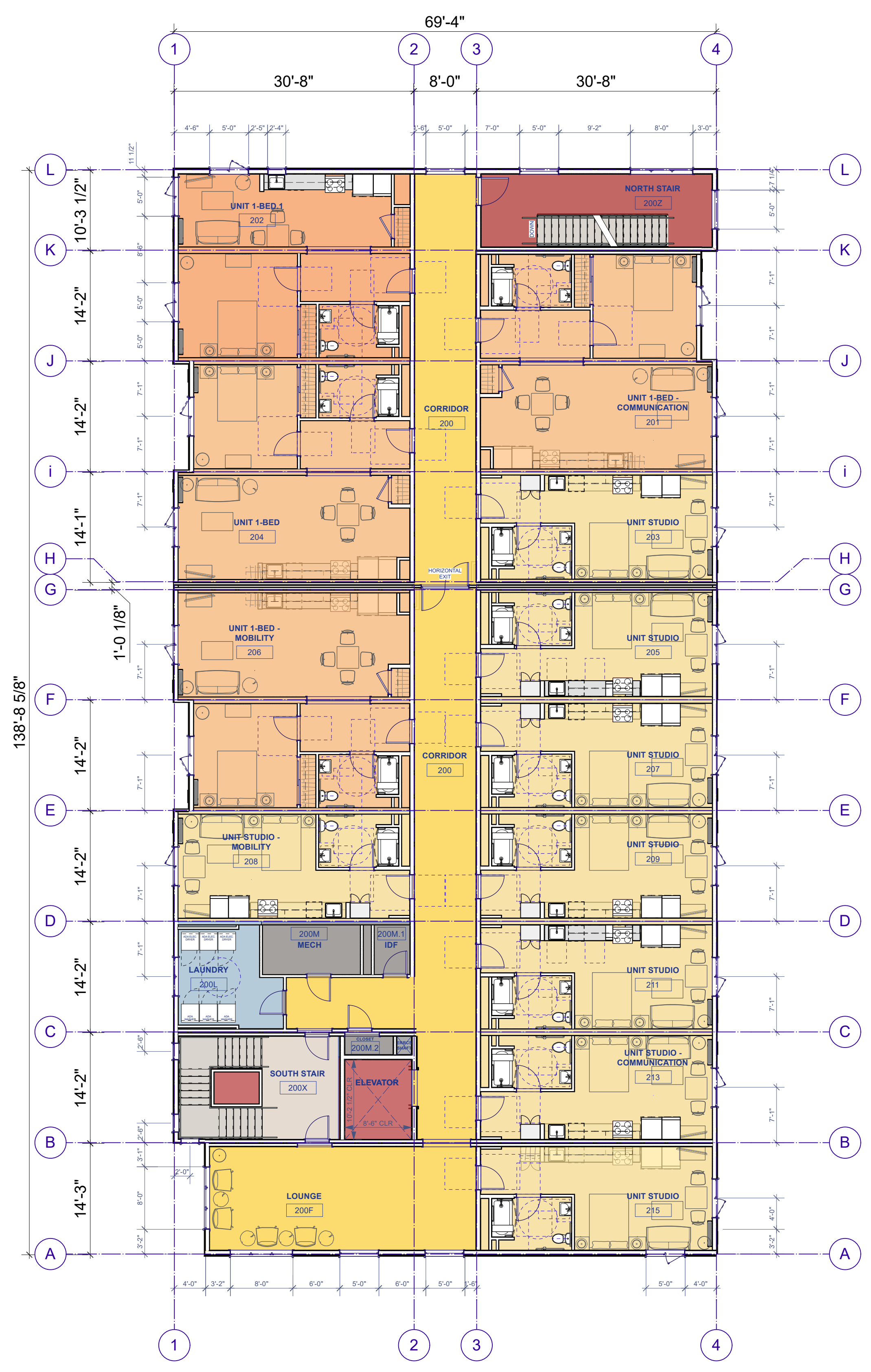
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1 SITE PLAN - ENLARGED PROPOSED
 Scale: 1/8" = 1'-0"



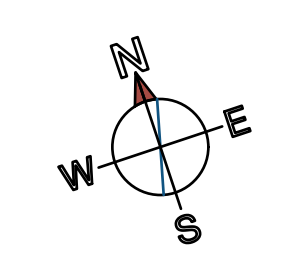
3 FLOOR PLAN - LEVEL 5
 Scale: 1" = 10'-0"



2 FLOOR PLAN - LEVEL 2 (3rd & 4th SIMILAR)
 Scale: 1" = 10'-0"



1 FLOOR PLAN - LEVEL 1
 Scale: 1" = 10'-0"





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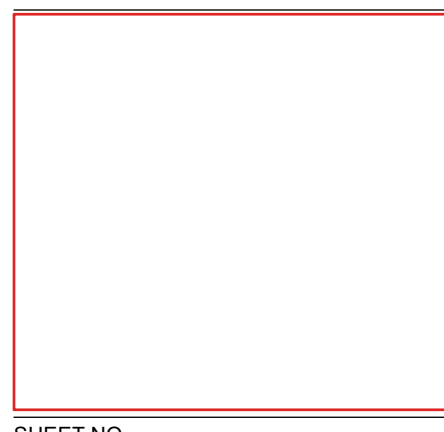
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NEW 5-STORY SUPPORTIVE HOUSING COMMUNITY
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FLOOR PLANS LEVEL 1 & 2

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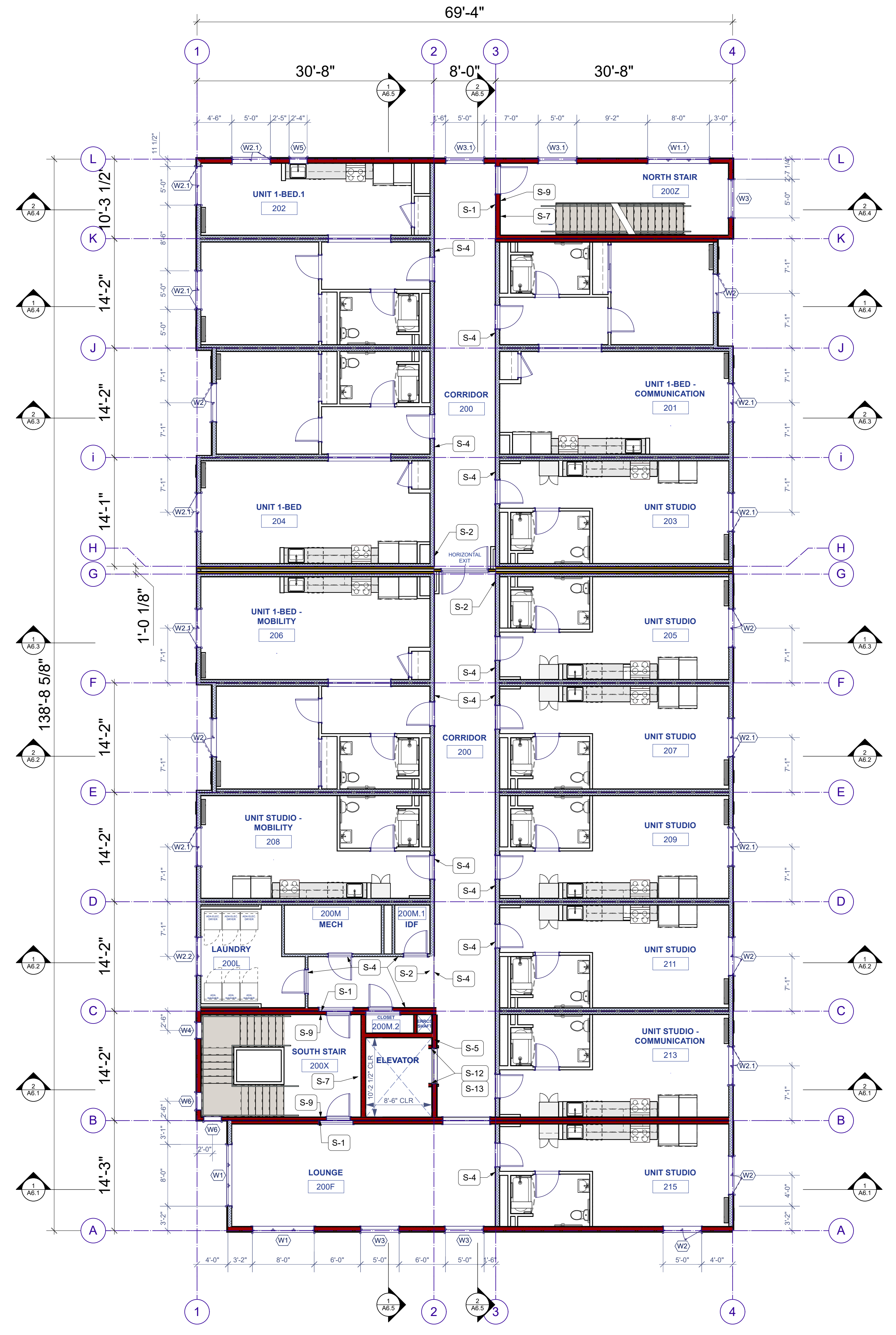
A3.1

SHEET NOTES - FLOOR PLANS:

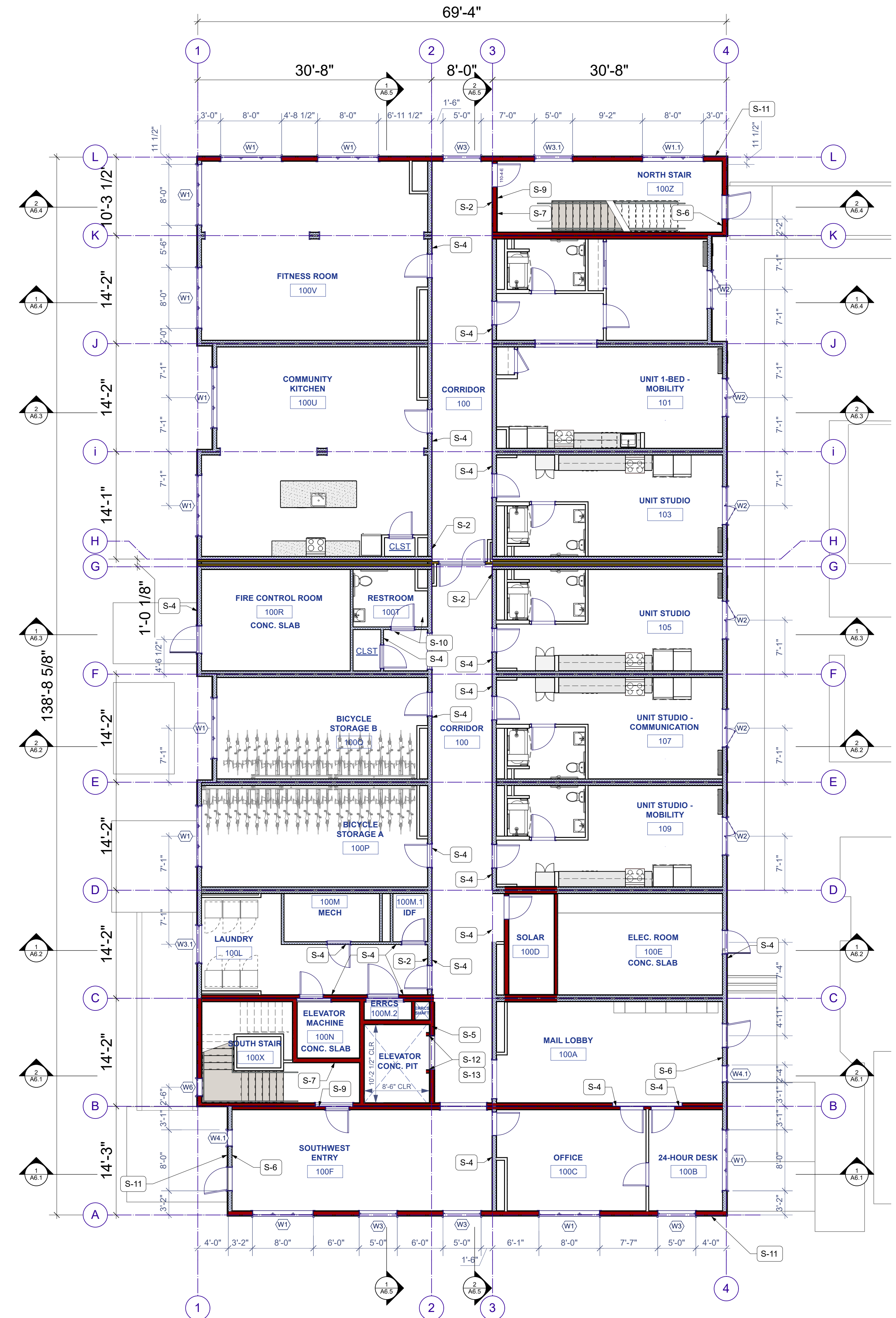
1. DIMENSIONS ARE TO FACE OF STUD UNLESS INDICATED OTHERWISE. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. COORDINATE WITH MODULAR DRAWINGS AND VERIFY WHICH PORTIONS OF THE WORK ARE FACTORY BUILT VS. SITE INSTALLED.
2. ALL DWELLING UNITS ARE ADAPTABLE. DWELLING UNITS WITH MOBILITY AND/OR COMMUNICATION FEATURES ARE IDENTIFIED. VERIFY ALL APPLICABLE PROVISIONS ARE COMPLIANT. SEE ACCESSIBILITY REQUIREMENTS AND DETAILS.
3. ALL LOAD BEARING EXTERIOR WALLS ARE 2-HR FIRE RESISTANCE RATED FOR TYPE IIB CONSTRUCTION. ALL NON-BEARING EXTERIOR WALLS ARE 1-HR FIRE RESISTANCE RATED. REFER TO FIRE RATED CONSTRUCTION NOTES ON A1.4 FOR RELATED REQUIREMENTS.
4. PROVIDE A SIGNS WHERE INDICATED INCLUDING, BUT NOT LIMITED TO TACTILE SIGNS AND BUILDING/UNIT ADDRESS SIGNS.
5. PROVIDE FIRE EXTINGUISHERS PER CODE REVIEW NOTES ON A1.4 AND PER LOCAL FIRE AUTHORITY.

KEYNOTES - SIGNAGE

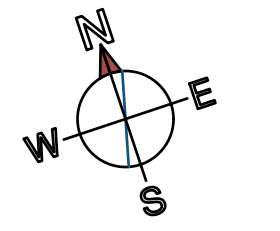
- S-1 TACTILE SIGN: EXIT STAIR DOWN PER DTL 1/A8.7
- S-2 TACTILE SIGN: EXIT ROUTE PER DTL 2/A8.7
- S-3 TACTILE SIGN: EXIT PER DTL 3/A8.7
- S-4 TACTILE SIGN: ROOM NAME PER DTL 4/A8.7
- S-5 TACTILE SIGN: IN CASE OF FIRE PER DTL 5/A8.7
- S-6 TACTILE SIGN: EXIT RAMP DOWN PER DTL 6/A8.7
- S-7 STAIRWAY IDENTIFICATION SIGN PER DTL 7/A8.7
- S-8 TACTILE SIGN: FLOOR LEVEL EXIT DISCHARGE PER DTL 8/A8.7
- S-9 TACTILE SIGN: FLOOR LEVEL PER DTL 9/A8.7
- S-10 BATHROOM DOOR & WALL SIGN PER DTL 10/A8.7 & 3/A8.1
- S-11 BUILDING ADDRESS SIGN PER DTL 11/A8.7
- S-12 ELEVATOR STAR OF LIFE SIGN PER DTL 12/A8.7
- S-13 ELEVATOR TACTILE FLOOR LEVEL SIGN PER DTL 13/A8.7



2 FLOOR PLAN - LEVEL 2 (LEVELS 3 & 4 SIMILAR)
Scale: 1/8" = 1'-0"



1 FLOOR PLAN - LEVEL 1
Scale: 1/8" = 1'-0"



SHEET NOTES - FLOOR PLANS:
 1. DIMENSIONS ARE TO FACE OF STUD UNLESS INDICATED OTHERWISE. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. COORDINATE WITH MODULAR DRAWINGS AND VERIFY WHICH PORTIONS OF THE WORK ARE FACTORY BUILT VS. SITE INSTALLED.
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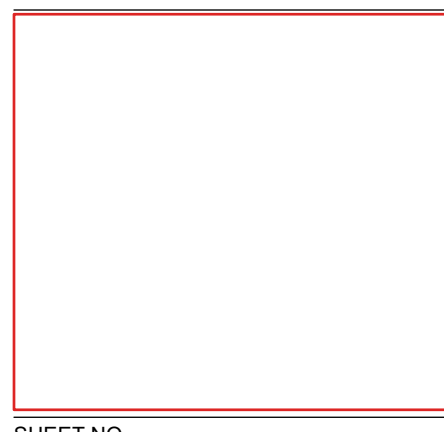
APPLICANT:
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 CITY OF SACRAMENTO
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FLOOR PLANS
LEVEL 3 & 4

DRAWING STATUS:
FOR DESIGN
REVIEW APPROVAL
 ISSUE DATE:
14 MARCH 2025

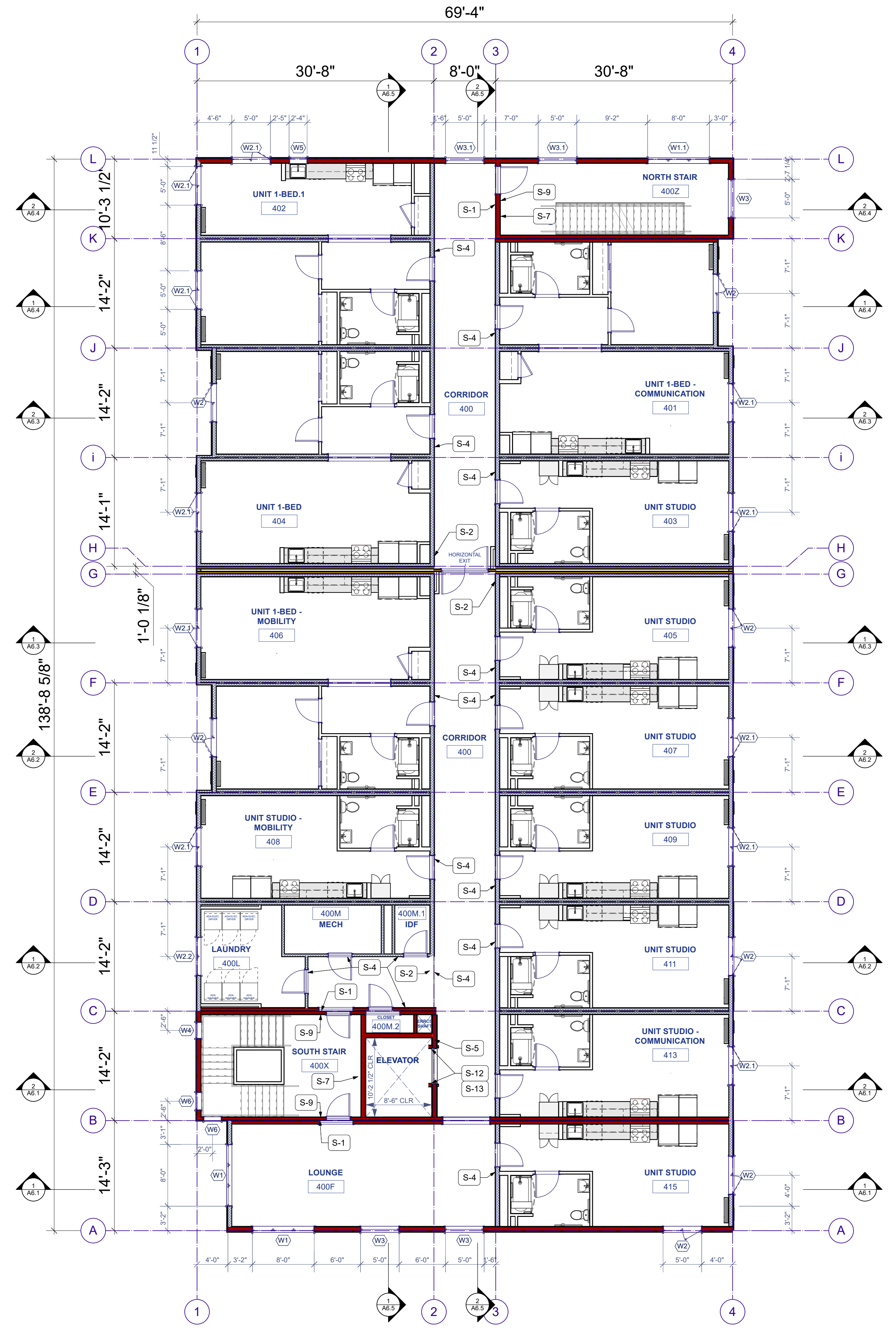


SHEET NO.

A3.2

KEYNOTES - SIGNAGE

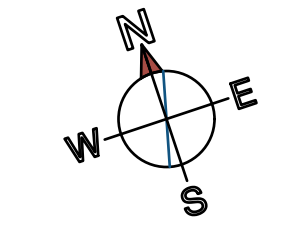
- S-1 TACTILE SIGN: EXIT STAIR DOWN PER DTL. 1/A8.7
- S-2 TACTILE SIGN: EXIT ROUTE PER DTL. 2/A8.7
- S-3 TACTILE SIGN: EXIT PER DTL. 3/A8.7
- S-4 TACTILE SIGN: ROOM NAME PER DTL. 4/A8.7
- S-5 TACTILE SIGN: IN CASE OF FIRE PER DTL. 5/A8.7
- S-6 TACTILE SIGN: EXIT RAMP DOWN PER DTL. 6/A8.7
- S-7 STAIRWAY IDENTIFICATION SIGN PER DTL. 7/A8.7
- S-8 TACTILE SIGN: FLOOR LEVEL EXIT DISCHARGE PER DTL. 8/A8.7
- S-9 TACTILE SIGN: FLOOR LEVEL PER DTL. 9/A8.7
- S-10 BATHROOM DOOR & WALL SIGN PER DTL. 10/A8.7 & 3/A8.1
- S-11 BUILDING ADDRESS SIGN PER DTL. 11/A8.7
- S-12 ELEVATOR STAR OF LIFE SIGN PER DTL. 12/A8.7
- S-13 ELEVATOR TACTILE FLOOR LEVEL SIGN PER DTL. 13/A8.7



2 FLOOR PLAN - LEVEL 4
 Scale: 1/8" = 1'-0"



1 FLOOR PLAN - LEVEL 3
 Scale: 1/8" = 1'-0"



**FLOOR PLAN - LEVEL 5
 & ROOF PLAN**

DRAWING STATUS:
 FOR LOCAL AHJ PLAN
 REVIEW & APPROVAL

ISSUE DATE:
22 JANUARY 2025

REVISIONS:
 1 05 MARCH 2025
 HCD (NTA) COMMENTS
 2 11 MARCH 2025
 HCD (NTA) COMMENTS

SHEET NO.

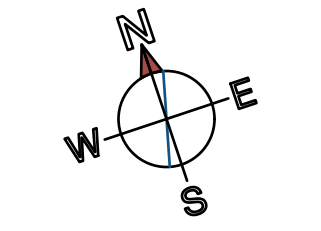
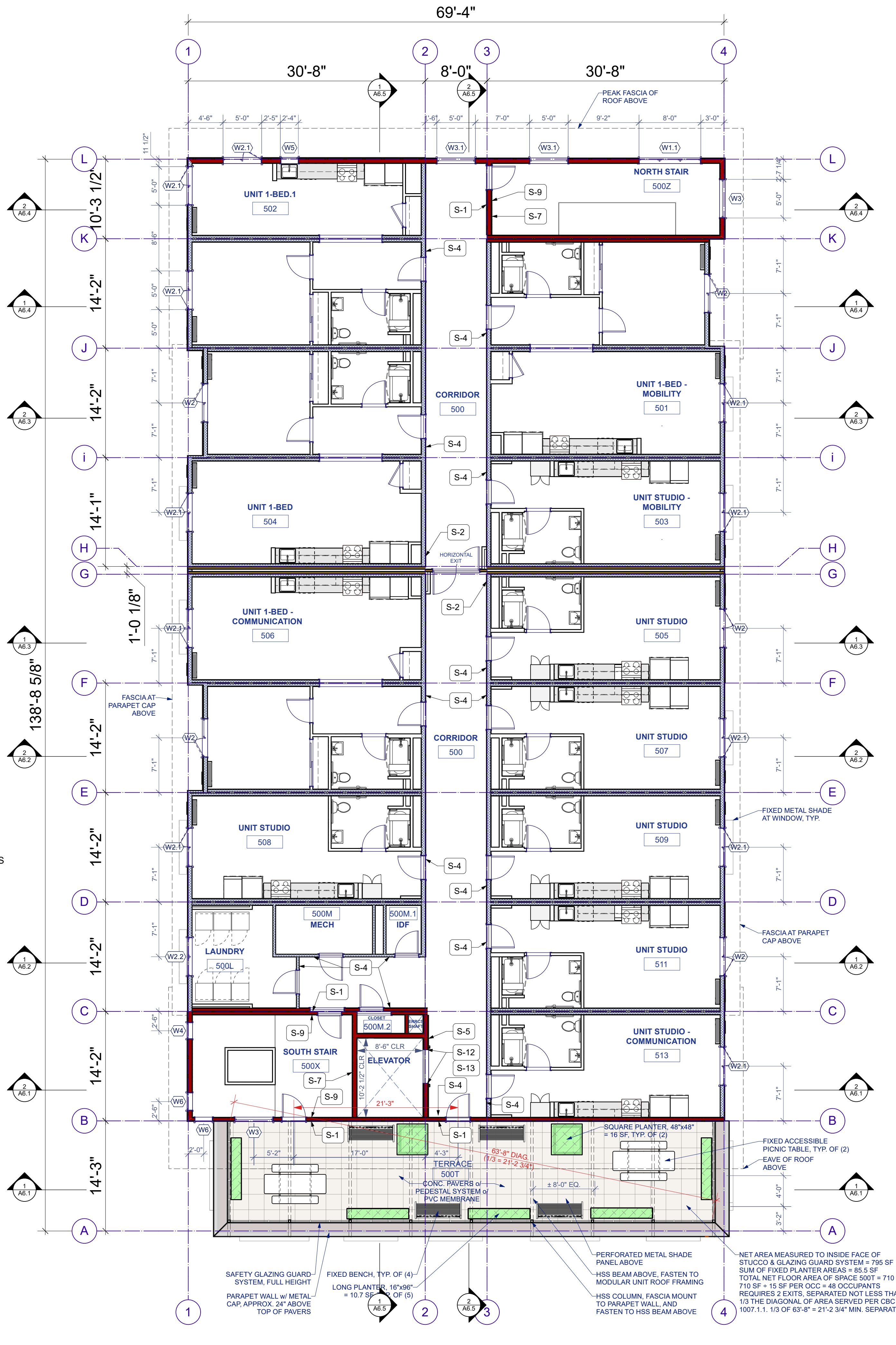
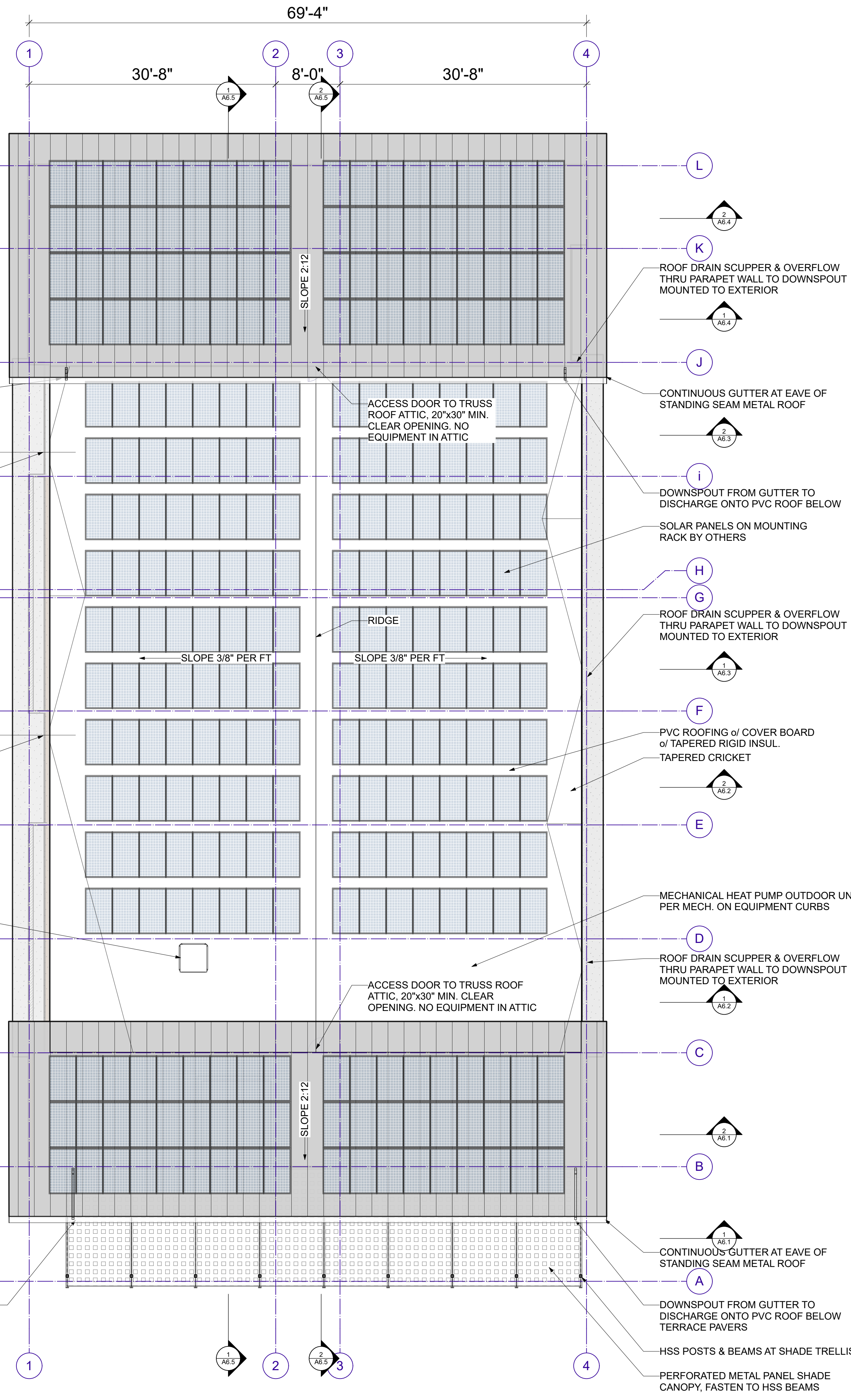
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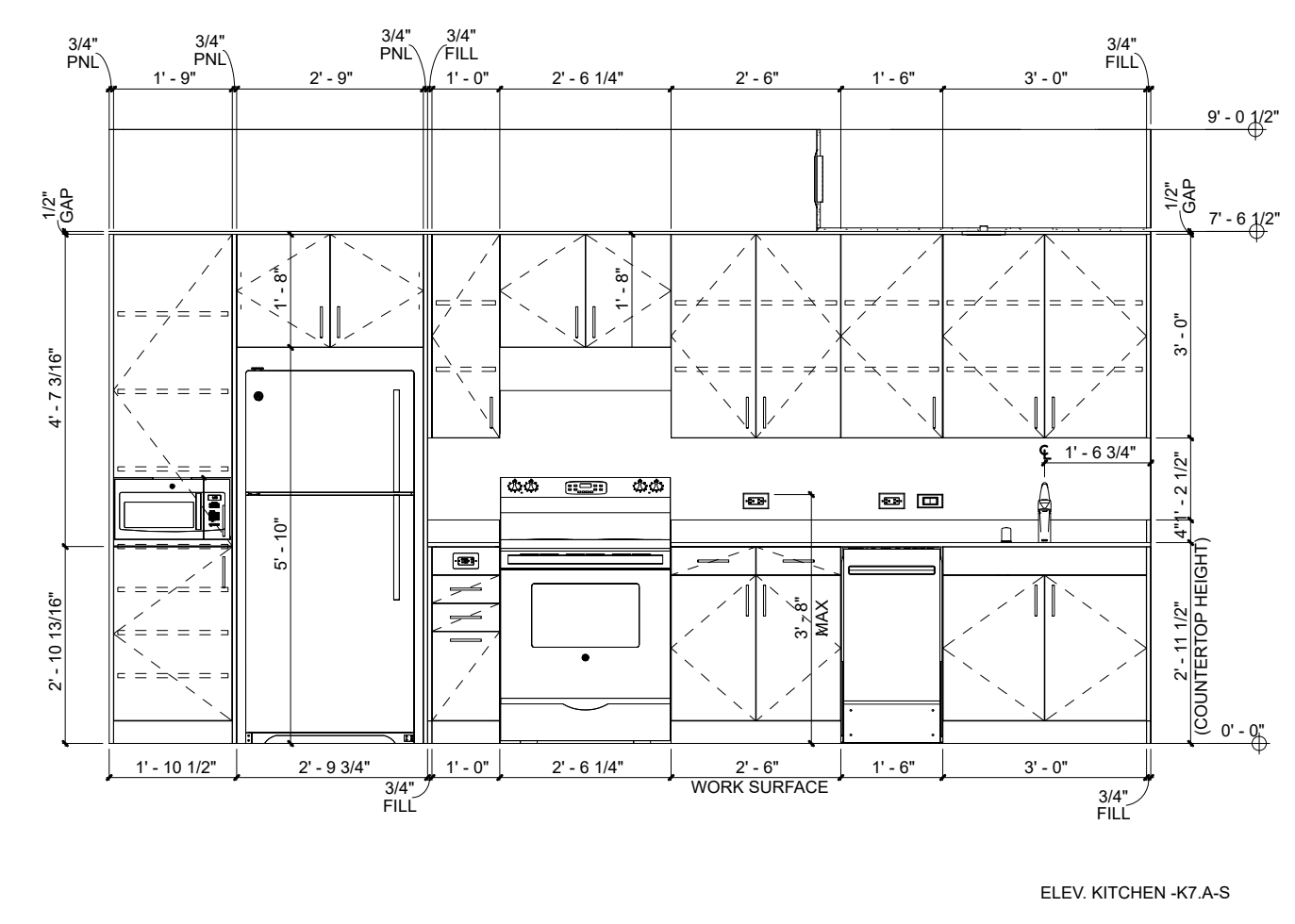
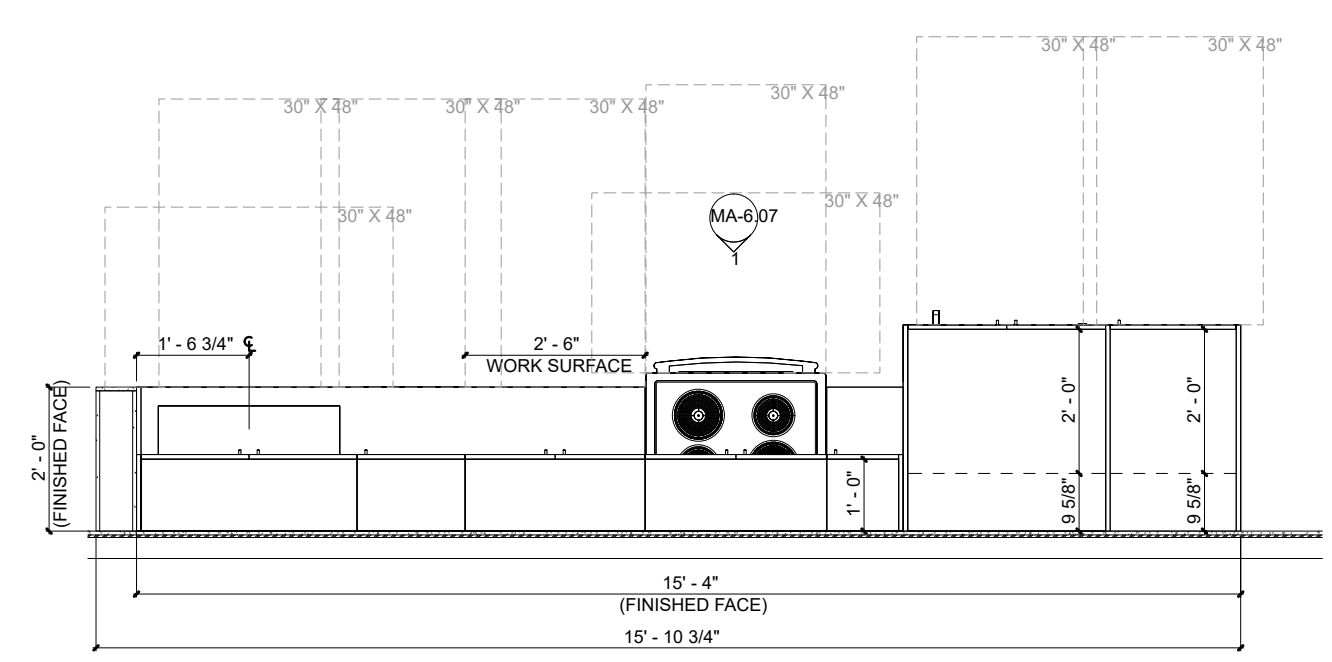
SHEET NOTES - FLOOR PLANS:

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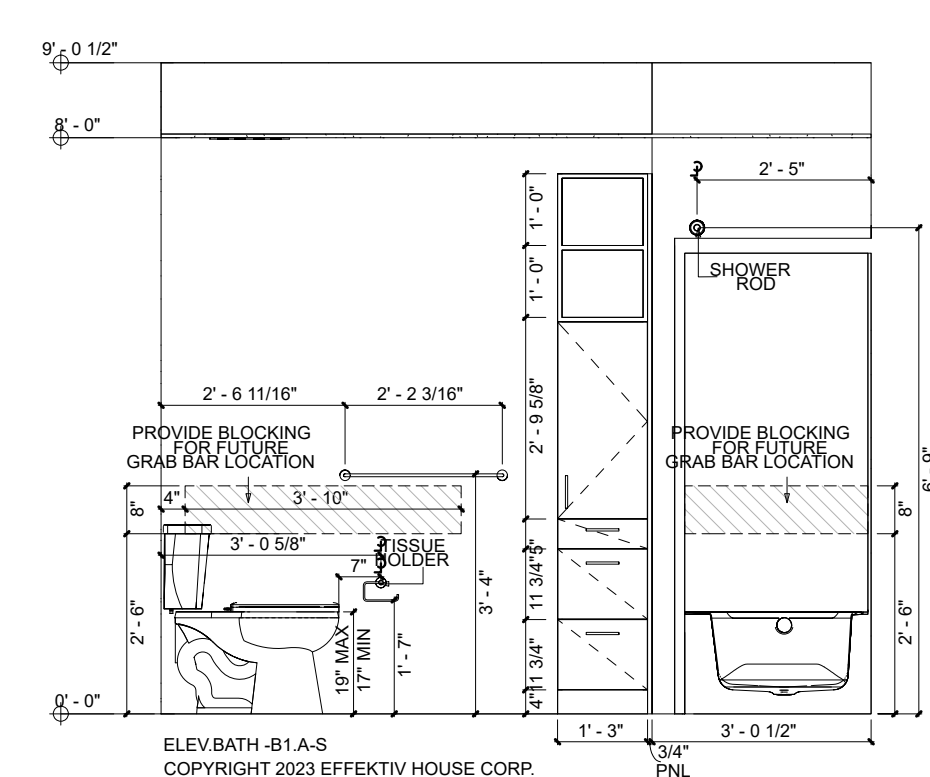
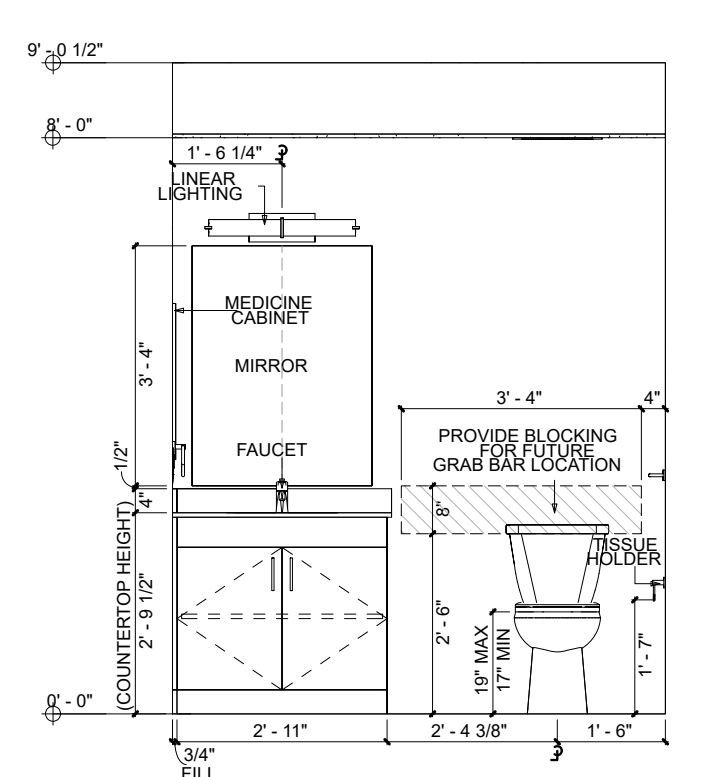
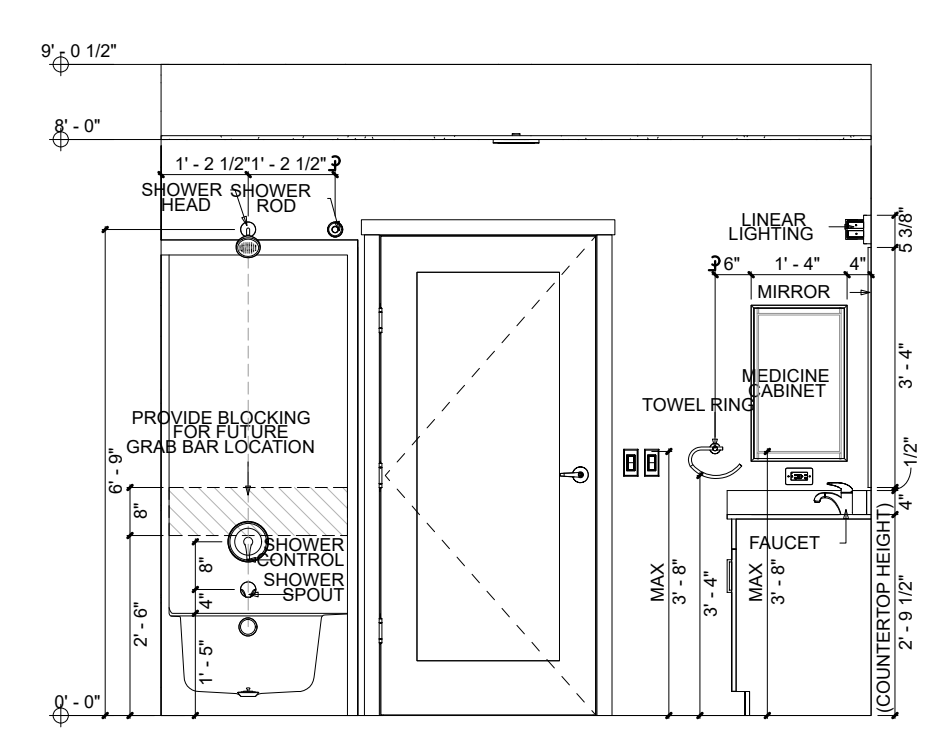
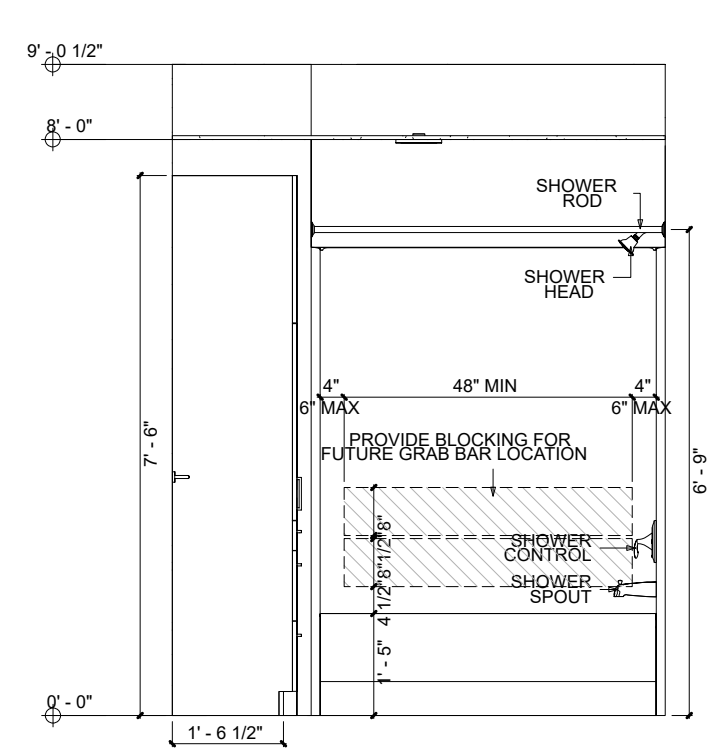
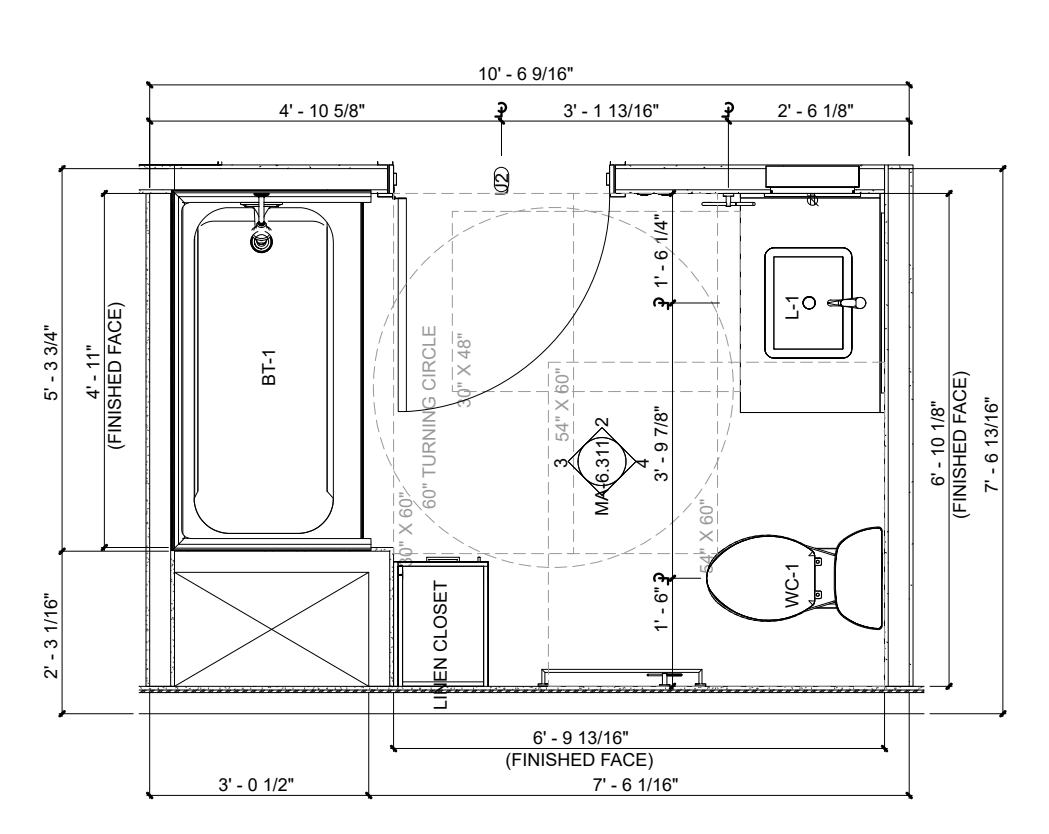
KEYNOTES - SIGNAGE

- | | |
|------|---|
| S-1 | TACTILE SIGN: EXIT STAIR DOWN PER DTL 1/A8.7 |
| S-2 | TACTILE SIGN: EXIT ROUTE PER DTL 2/A8.7 |
| S-3 | TACTILE SIGN: EXIT PER DTL 3/A8.7 |
| S-4 | TACTILE SIGN: ROOM NAME PER DTL 4/A8.7 |
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| S-9 | TACTILE SIGN: FLOOR LEVEL PER DTL 9/A8.7 |
| S-10 | BATHROOM DOOR & WALL SIGN PER DTL 10/A8.7 & 3/A8.1 |
| S-11 | BUILDING ADDRESS SIGN PER DTL 11/A8.7 |
| S-12 | ELEVATOR STAR OF LIFE SIGN PER DTL 12/A8.7 |
| S-13 | ELEVATOR TACTILE FLOOR LEVEL SIGN PER DTL 13/A8.7 |

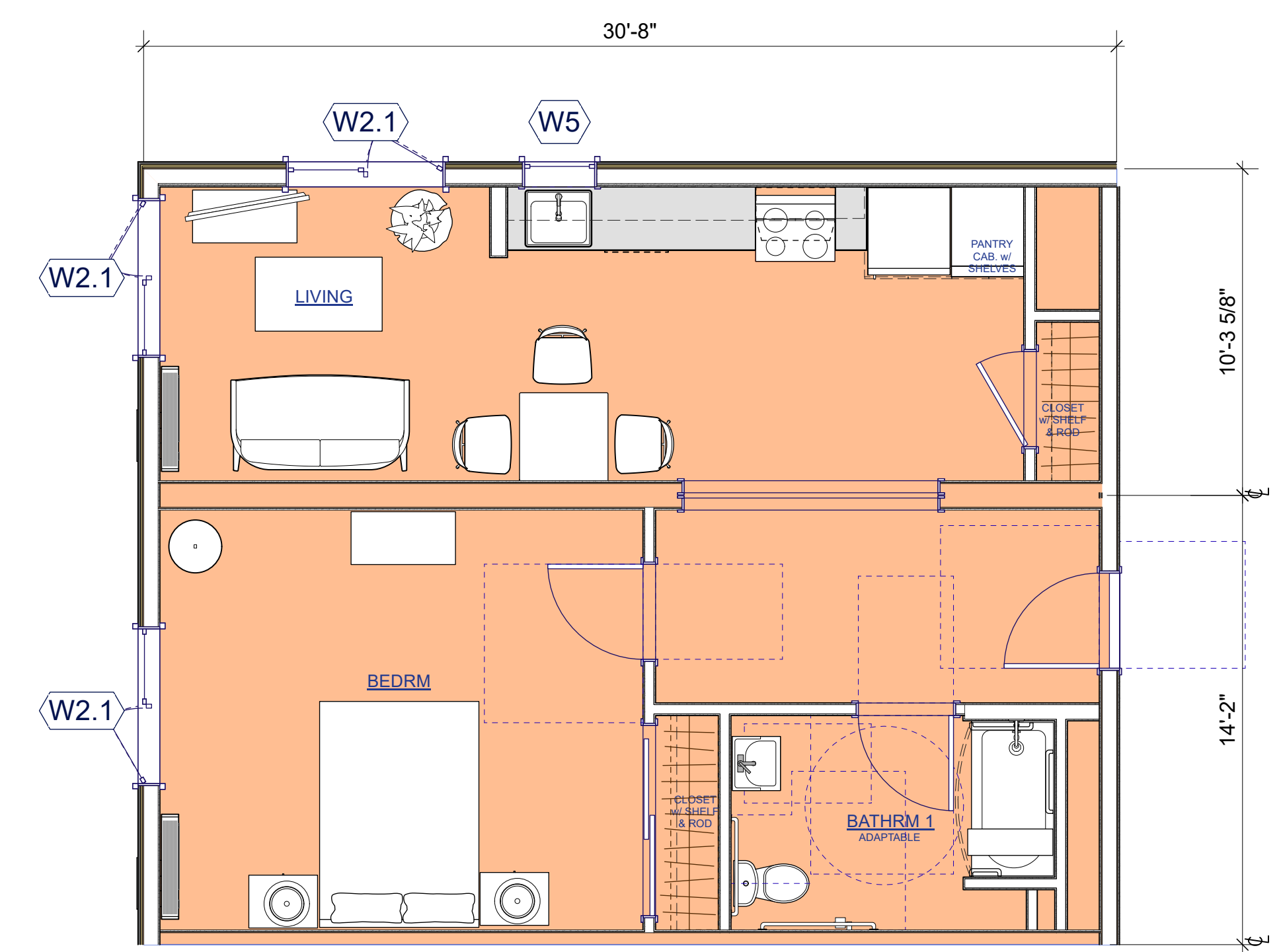




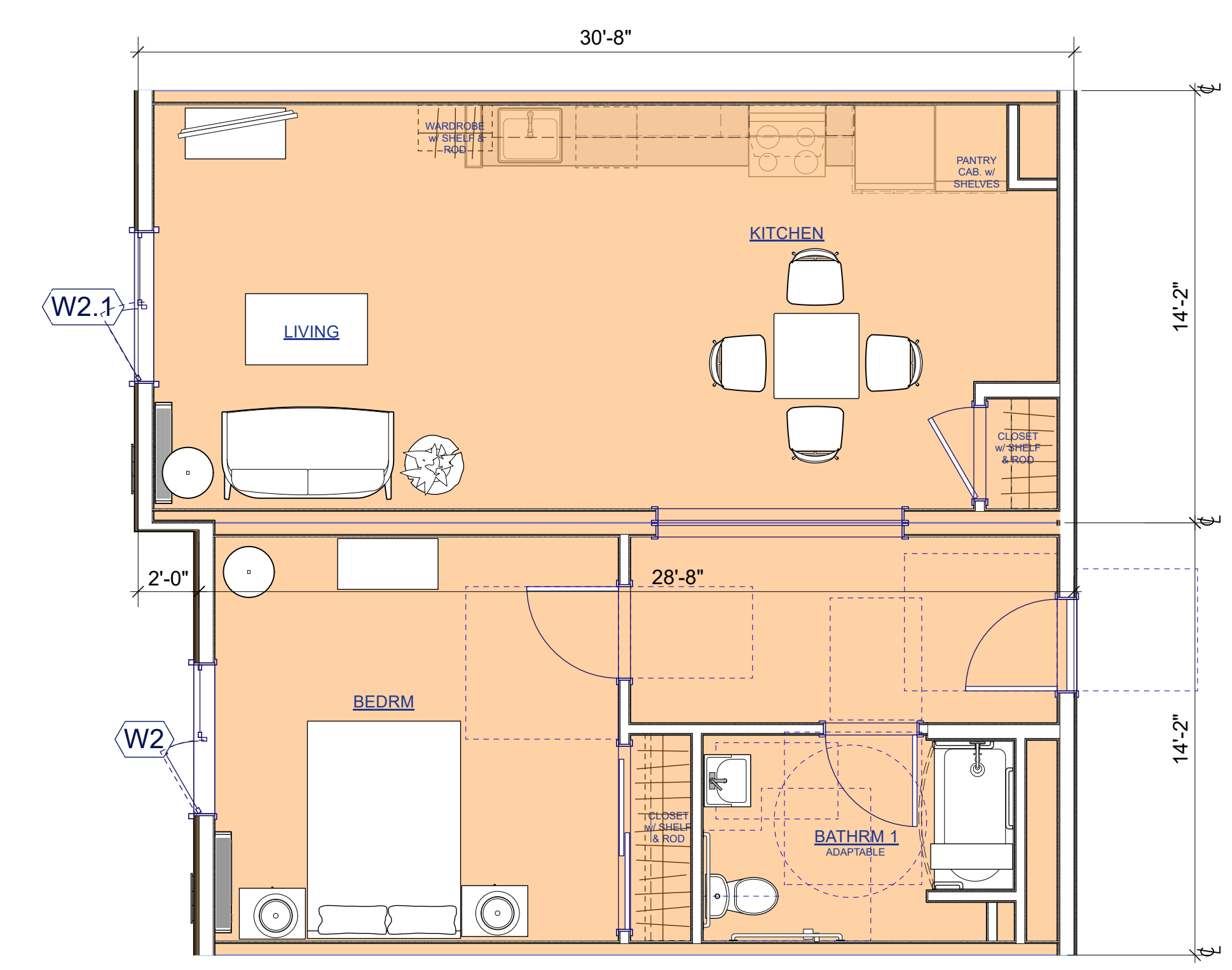
4 TYPICAL RESIDENTIAL KITCHENS - ADAPTABLE (SAMPLE ONLY)
Scale: 3/8" = 1'-0"



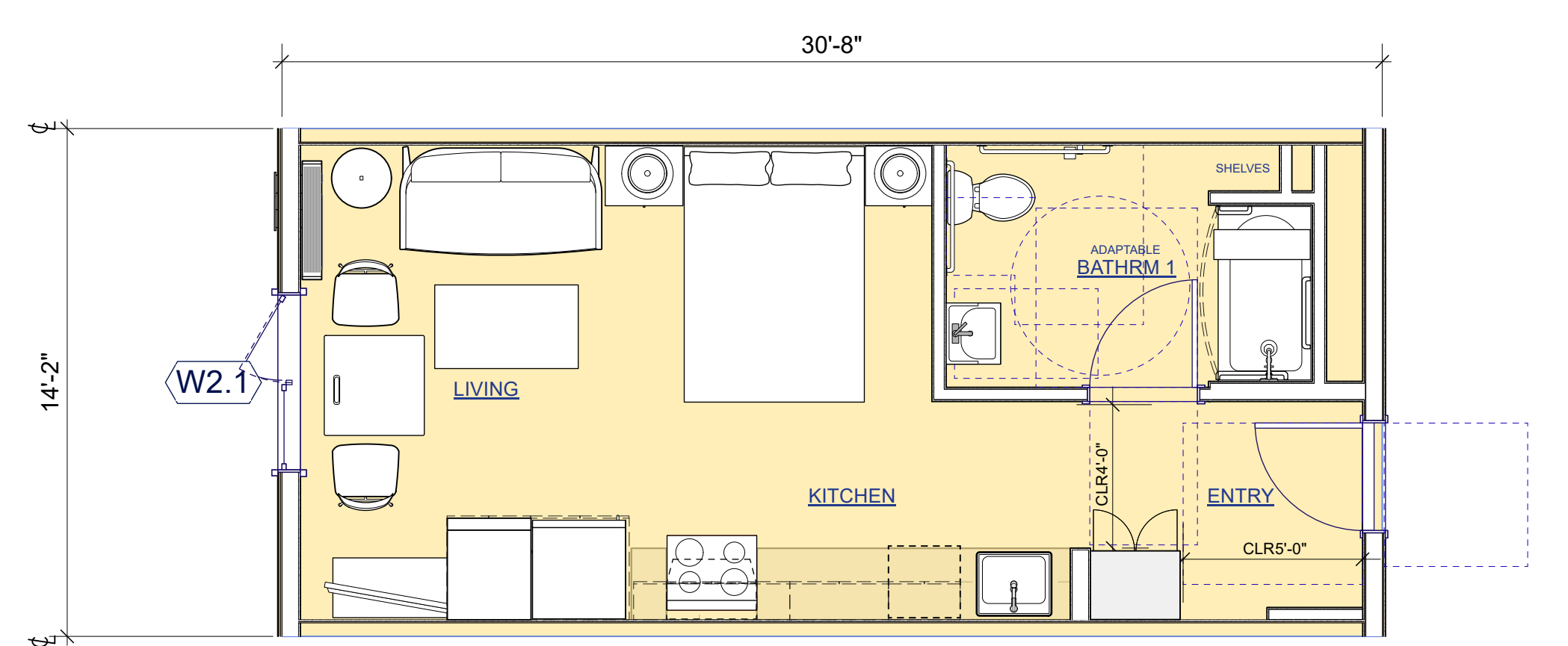
3 TYPICAL RESIDENTIAL BATHROOMS - ADAPTABLE (SAMPLE ONLY)
Scale: 3/8" = 1'-0"



3 UNIT TYPE: 1-BEDRM - CORNER
Scale: 1/4" = 1'-0"



2 UNIT TYPE: 1-BEDRM - TYP.
Scale: 1/4" = 1'-0"



1 UNIT TYPE: STUDIO
Scale: 1/4" = 1'-0"

LICENSED ARCHITECT
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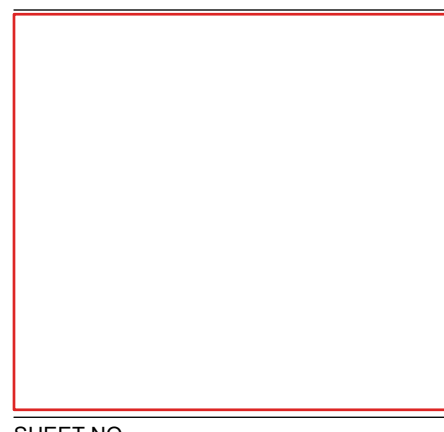
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NEW 5-STORY SUPPORTIVE HOUSING COMMUNITY
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CITY OF SACRAMENTO
ASSESSOR PARCEL NUMBER: 006-0045-003 & 006-0045-002

TYPICAL UNIT PLANS

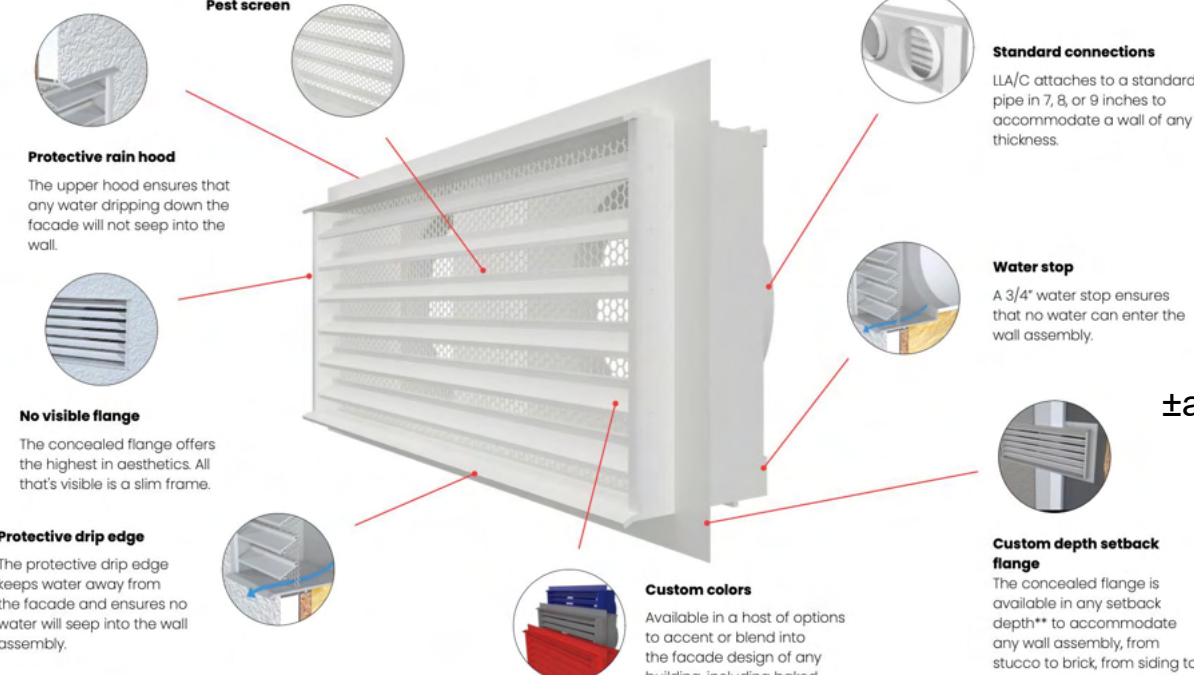
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ISSUE DATE:
14 MARCH 2025



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LOUVER PRODUCT INFO:

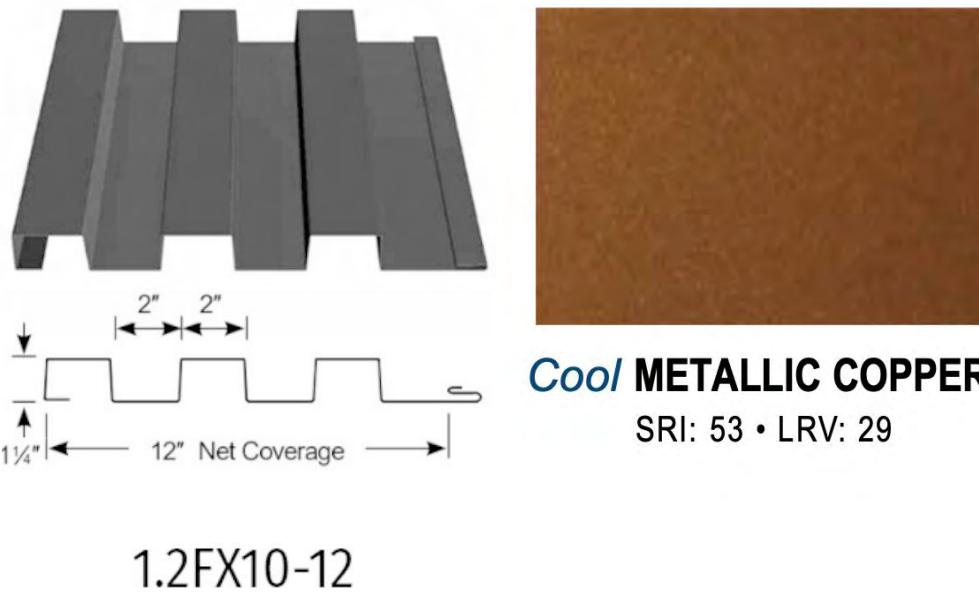
PROVIDE LOUVERS w/ CUSTOM COLORS TO MATCH ADJACENT SIDING:



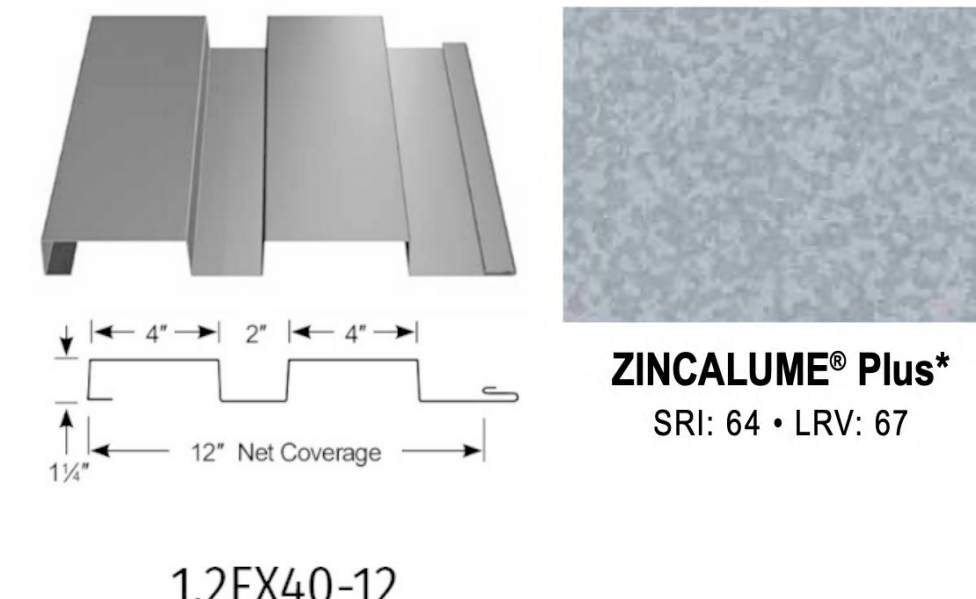
METAL SIDING PROFILES & COLORS:

PROVIDE CONCEALED FASTENER FLEX SERIES PANELS BY AEP SPAN, OR, EQUAL:

PROFILE A: 2" BOX RIB - METALLIC COPPER



PROFILE B: 4" BOX RIB - ZINCALUME PLUS



FIBER CEMENT SHINGLE:

SHINGLES w/ STRAIGHT EDGE & STANDARD TEXTURE, BY JAMES HARDIE OR, EQUAL, SHERWIN WILLIAMS SW7005 PURE WHITE, OR APPROVED SIMILAR:



CEMENT PLASTER (MURAL):

STANDARD 7/8" STUCCO, LIGHT SAND FINISH TEXTURE, COLOR 629 OYSTER, OR APPROVED SIMILAR. MURAL ART DESIGN IS CONCEPTUAL, FINAL PER ARTIST.



CEMENT PLASTER:

STANDARD 7/8" STUCCO, LIGHT SAND FINISH TEXTURE, COLOR 629 OYSTER, OR APPROVED SIMILAR, w/ CONTROL JOINTS PER APPROVED LAYOUT.



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CITY OF SACRAMENTO
ASSESSOR PARCEL NUMBER: 006-0045-003 & 006-0045-002

ELEVATIONS - COLOR

DRAWING STATUS:
FOR DESIGN REVIEW APPROVAL
ISSUE DATE:
14 MARCH 2025

SHEET NO.

A5.2





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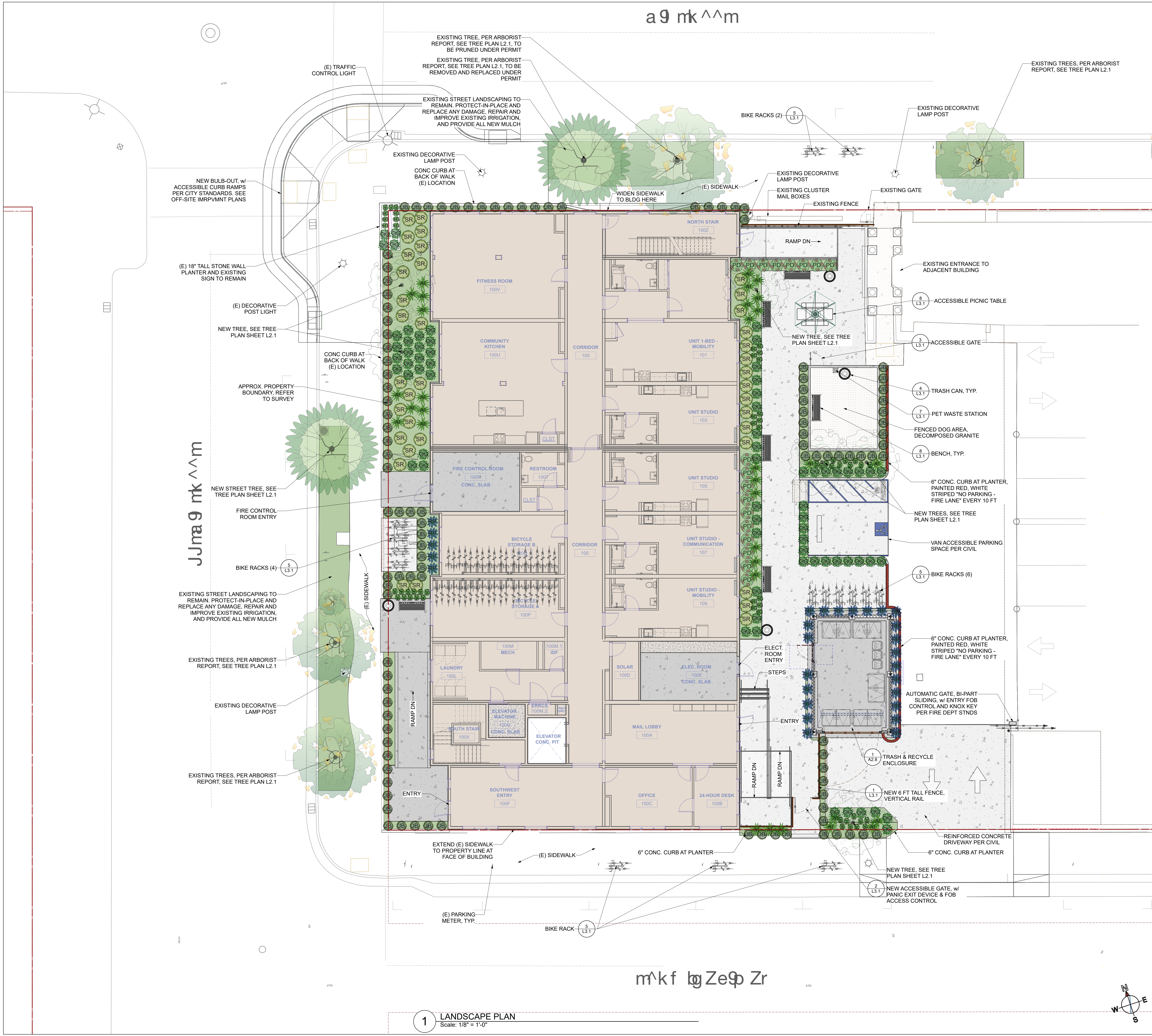
3D VIEWS

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 REVIEW APPROVAL**
 ISSUE DATE:
14 MARCH 2025



SHEET NO.
A5.3

a 9 nk ^ ^ m



- LANDSCAPE NOTES:**
- THIS LANDSCAPE PLAN IS PRELIMINARY. FOR PLANNING REVIEW ONLY, NOT FOR CONSTRUCTION.
 - SEE IRRIGATION PLAN BY OTHERS. COMPLY WITH THE WATER EFFICIENT LANDSCAPE REQUIREMENTS CONTAINED IN CITY OF SACRAMENTO CODE SECTION 15.92. SEE SECTION 15.92.
 - COORDINATE WITH CIVIL, ELECTRICAL, AND PLUMBING.
 - IN ALTERED AREAS OF EXISTING LANDSCAPING, PROVIDE NEW PLANTINGS AND MULCH PER PLAN, AND MODIFY EXISTING IRRIGATION SYSTEM TO PROVIDE COVERAGE. SEE ATTACHED IRRIGATION PLAN. SUBMIT ACCURATE AS-BUILT PLANS FOR IRRIGATION SYSTEM AND PROVIDE DOCUMENTATION ON ALL MAINTENANCE AND SCHEDULING REQUIREMENTS.
 - THE LANDSCAPE SHALL BE IN COMPLIANCE WITH THE FOLLOWING:
 - A) ALL NEW LANDSCAPING FOLLOWS THE CA NATIVE PLANT SOCIETY "GUIDELINES FOR LANDSCAPING TO PROTECT NATIVE VEGETATION FROM GENETIC DEGRADATION."
 - B) NO PLANT SPECIES LISTED AS PROBLEMATIC AND/OR INVASIVE AND/OR AS A "NOXIOUS WEED" BY THE CNPS, THE CALIFORNIA INVASIVE PLANT COUNCIL, THE STATE OF CALIFORNIA, OR THE U.S. FEDERAL GOVERNMENT SHALL BE USED IN ANY PROPOSED LANDSCAPING.
 - C) ALL NEW LANDSCAPING SHALL CONSIST PRIMARILY OF NATIVE, OR REGIONALLY APPROPRIATE, DROUGHT-TOLERANT PLANTS
 - D) SUBMIT IRRIGATION SHOP DRAWINGS FOR APPROVAL AND COMPLIANCE WITH WATER CONSERVATION REQUIREMENTS AND ALL COUNTY OF SACRAMENTO GUIDELINES.
 - VERIFY SUBSURFACE UTILITIES. LOCATIONS OF PLANTS MAY NEED TO BE ADJUSTED BY CONTRACTOR IN ORDER TO AVOID CONFLICT. VERIFY PRIOR TO DIGGING AND SUBMIT RFI FOR APPROVAL OF ADJUSTMENTS.
 - IMPROVE SOILS WHERE NEW PLANTS ARE TO BE INSTALLED. INSTALL WEED BARRIER FABRIC AT PLANTER AREAS.
 - SECURE ALL TREES WITH (2) 2" Ø TREE STAKES SET TO FULL DEPTH OF PLANTER, PROVIDE W/ (2) ADJUSTABLE RUBBER CROSS STRAPS.
 - MULCH PLANTING BEDS WITH 3 INCHES THICK LAYER (FLATTENED) OF SHREDDED REDWOOD BARK, COMPACTED AND TIGHT AROUND BASE OF PLANTS AND PERIMETER OF PLANTER.
 - WHERE TREE WITHIN 5 FEET OF SIDEWALK, PROVIDE ROOT BARRIER PER CITY OF SACRAMENTO STANDARDS.

LANDSCAPE PLANTING SCHEDULE:

SYMBOL:	TAG:	NAME:	POT SIZE:	WUCOLS:	COUNT:
SHRUBS:					
JB	JB	BUXUX MICROPHYLLA JAPONICA 'GREEN BEAUTY' JAPANESE BOXWOOD	5 GAL.	LOW	140
SR	SR	CISTUS SALVIIFOLIUS 'PROSTRATUS' SAGELEAF ROCKROSE	5 GAL.	LOW	36
AI	AI	DIETES VEGETA AFRICAN IRIS	1 GAL.	LOW	38
OG	OG	MAHONIA AQUIFOLIUM 'COMPACTA' OREGON GRAPE	5 GAL.	LOW	68
PD	PD	RHAPHILOLEPIS INDICA 'PINK DANGER' INDIAN HAWTHORNE	5 GAL.	LOW	18
RP	RP	ROSMARINUS PROSTRATUS DWARF ROSEMARY	1 GAL.	LOW	28
SG	SG	TUBLAGHIA VIOLACEA 'VARIEGATA' STRIPED SOCIETY GARLIC	1 GAL.	LOW	55
TURF / SURFACE TREATMENTS / ELEMENTS					
DECOMP GRANITE		DECOMPOSED GRANITE, COLOR: "GOLD", GRANULATED, 4" DEPTH, STABILIZED AND COMPACTED			21 i k h a 9 P L 9
MULCH		"GROUND COVER MULCH", FLATTENED, 3" THICK, CHIPPED, CRUSHED, SHREDDED BARK			

SEE L2.1 FOR PROPOSED TREE SCHEDULE

LICENSED ARCHITECT
GARRETT MCSORLEY
 119 N 10TH ST
 SACRAMENTO, CA 95811
 C-33283
 707.633.9283

m s o r k e z l
H Y J O P L J [\] Y L

garrett.mcsorley@gmail.com
 PO Box 2472
 McKinleyville, CA 95519
 707.633.9283

APPLICANT:
DANCO
 THE DANCO GROUP OF COMPANIES
 DANCO COMMUNITIES
 5251 ERICSSON WAY
 ARCAT, CA 95821
 707.822.9000

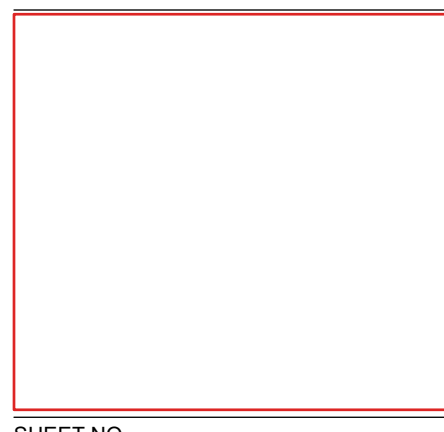
ISHRA
 CHANGING LIVES

City of
SACRAMENTO

a c l r p _ j q _ a p _ k c l r m q r s b g m q q z
 NEW 5-STORY SUPPORTIVE HOUSING COMMUNITY
 815 11th STREET
 SACRAMENTO, CALIFORNIA, 95814
 CITY OF SACRAMENTO
 ASSESSOR PARCEL NUMBER: 006-0045-003 & 006-0045-002

LANDSCAPE PLAN

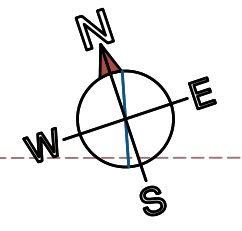
DRAWING STATUS:
FOR DESIGN REVIEW APPROVAL
 ISSUE DATE:
14 MARCH 2025



SHEET NO.

L1.1

1 LANDSCAPE PLAN
 Scale: 1/8" = 1'-0"



a 9 nk ^ ^ m



- LANDSCAPE NOTES:**
1. THIS LANDSCAPE PLAN IS PRELIMINARY. FOR PLANNING REVIEW ONLY, NOT FOR CONSTRUCTION.
 2. SEE IRRIGATION PLAN BY OTHERS. COMPLY WITH THE WATER EFFICIENT LANDSCAPE REQUIREMENTS CONTAINED IN CITY OF SACRAMENTO CODE SECTION 15.92. SEE SECTION 15.92.
 3. COORDINATE WITH CIVIL, ELECTRICAL, AND PLUMBING.
 4. IN ALTERED AREAS OF EXISTING LANDSCAPING, PROVIDE NEW PLANTINGS AND MULCH PER PLAN, AND MODIFY EXISTING IRRIGATION SYSTEM TO PROVIDE COVERAGE. SEE ATTACHED IRRIGATION PLAN. SUBMIT ACCURATE AS-BUILT PLANS FOR IRRIGATION SYSTEM AND PROVIDE DOCUMENTATION ON ALL MAINTENANCE AND SCHEDULING REQUIREMENTS.
 5. THE LANDSCAPE SHALL BE IN COMPLIANCE WITH THE FOLLOWING:
 - A) ALL NEW LANDSCAPING FOLLOWS THE CA NATIVE PLANT SOCIETY "GUIDELINES FOR LANDSCAPING TO PROTECT NATIVE VEGETATION FROM GENETIC DEGRADATION."
 - B) NO PLANT SPECIES LISTED AS PROBLEMATIC AND/OR INVASIVE AND/OR AS A "NOXIOUS WEED" BY THE CNPS, THE CALIFORNIA INVASIVE PLANT COUNCIL, THE STATE OF CALIFORNIA, OR THE U.S. FEDERAL GOVERNMENT SHALL BE USED IN ANY PROPOSED LANDSCAPING.
 - C) ALL NEW LANDSCAPING SHALL CONSIST PRIMARILY OF NATIVE, OR REGIONALLY APPROPRIATE, DROUGHT-TOLERANT PLANTS
 - D) SUBMIT IRRIGATION SHOP DRAWINGS FOR APPROVAL AND COMPLIANCE WITH WATER CONSERVATION REQUIREMENTS AND ALL COUNTY OF SACRAMENTO GUIDELINES.
 6. VERIFY SUBSURFACE UTILITIES. LOCATIONS OF PLANTS MAY NEED TO BE ADJUSTED BY CONTRACTOR IN ORDER TO AVOID CONFLICT. VERIFY PRIOR TO DIGGING AND SUBMIT RFI FOR APPROVAL OF ADJUSTMENTS.
 7. IMPROVE SOILS WHERE NEW PLANTS ARE TO BE INSTALLED. INSTALL WEED BARRIER FABRIC AT PLANTER AREAS.
 8. SECURE ALL TREES WITH (2) 2" Ø TREE STAKES SET TO FULL DEPTH OF PLANTER. PROVIDE w/ (2) ADJUSTABLE RUBBER CROSS STRAPS.
 9. MULCH PLANTING BEDS WITH 3 INCHES THICK LAYER (FLATTENED) OF SHREDED REDWOOD BARK, COMPACTED AND TIGHT AROUND BASE OF PLANTS AND PERIMETER OF PLANTER.
 10. WHERE TREE WITHIN 5 FEET OF SIDEWALK, PROVIDE ROOT BARRIER PER CITY OF SACRAMENTO STANDARDS.

LANDSCAPE TREE SCHEDULE:

SYMBOL:	TAG:	NAME:	POT SIZE:	WUCOLS:	COUNT:
TREES:					
	-	EXISTING TREE, SEE ARBORIST REPORT FOR MORE INFO. PROTECT & PRUNE ONLY AS APPROVED	N/A	N/A	-
	QL	VALLEY OAK QUERCUS LABOTA	24" BOX	LOW	2
	CM	LAGERSTROEMIA INDICA X FAURIEI TUSCARORA, GRAPE MYRTLE	15 GLA	LOW	6

SEE L1.1 FOR PROPOSED PLANT SCHEDULE

LICENSED ARCHITECT
GARRETT MCSORLEY
 C-33283
 11.9.1983
 STATE OF CALIFORNIA

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 707.633.9283

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ISHRA
 CHANGING LIVES

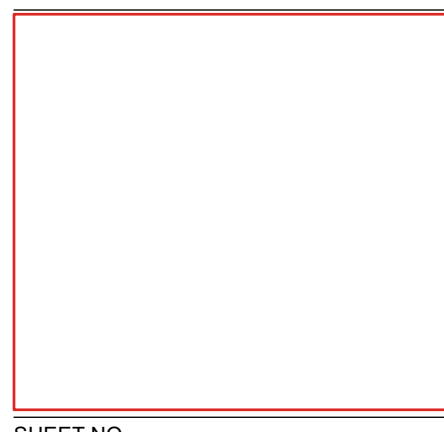
City of
SACRAMENTO

a c l r p _ j q _ a p _ k c l r m q r s b g n q z
 NEW 5-STORY SUPPORTIVE HOUSING COMMUNITY

815 11th STREET
 SACRAMENTO, CALIFORNIA, 95814
 CITY OF SACRAMENTO
 ASSESSOR PARCEL NUMBER: 006-0045-003 & 006-0045-002

LANDSCAPE TREE PLAN

DRAWING STATUS:
FOR DESIGN REVIEW APPROVAL
 ISSUE DATE:
14 MARCH 2025



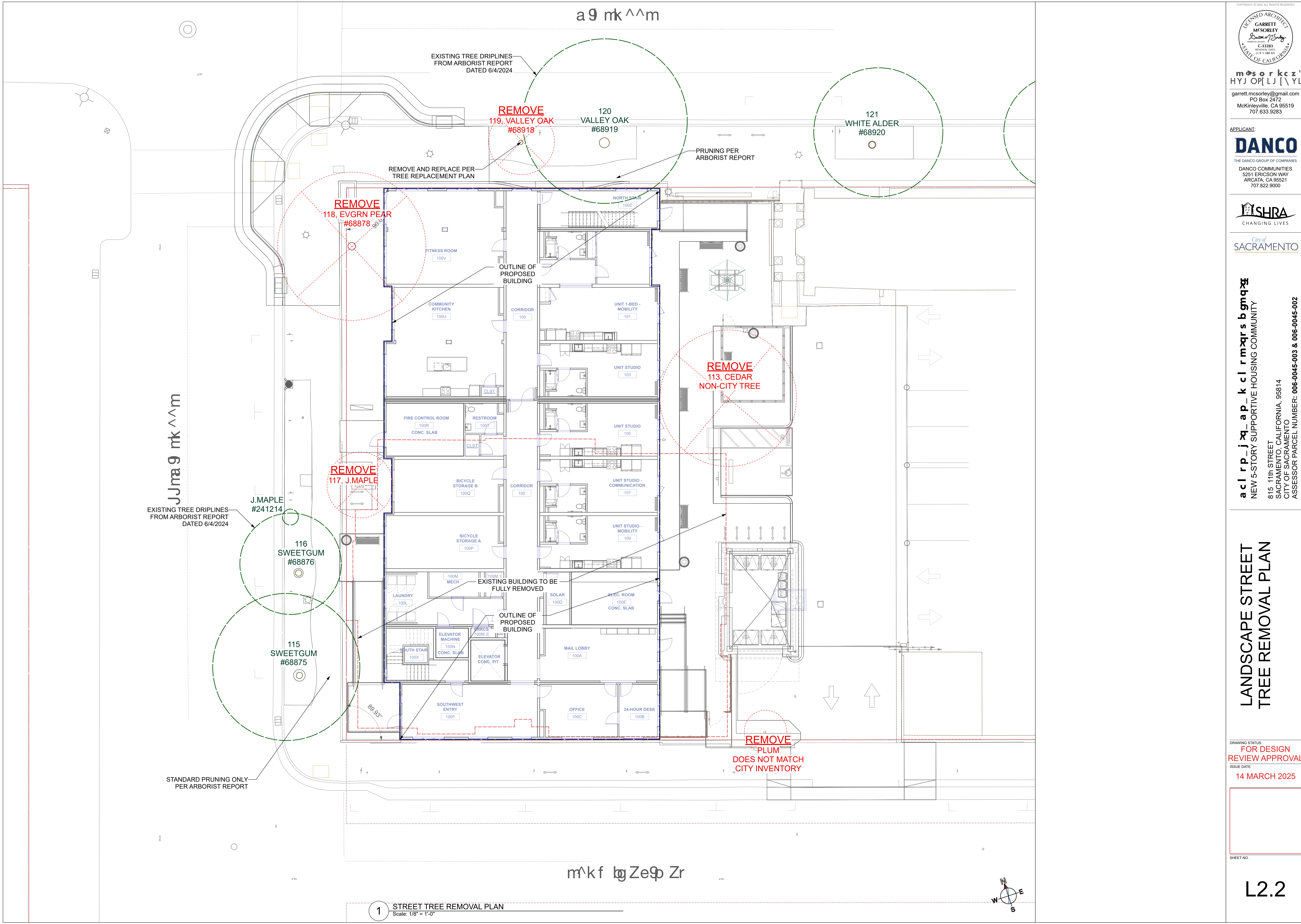
SHEET NO.

L2.1

1 LANDSCAPE TREE PLAN
 Scale: 1/8" = 1'-0"

m k f l o Z e p Z r

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1 STREET TREE REMOVAL PLAN
 Scale: 1/8" = 1'-0"



m o r s o r k e z l
H Y J O P L J [\] Y L

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McKinleyville, CA 95519
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APPLICANT:

DANCO

THE DANCO GROUP OF COMPANIES
DANCO COMMUNITIES
5251 ERICSON WAY
ARCATA, CA 95521
707.822.9000



City of SACRAMENTO

a c l r p _ j q _ a p _ k c l r m q r s b g n q z
NEW 5-STORY SUPPORTIVE HOUSING COMMUNITY
815 11th STREET
SACRAMENTO, CALIFORNIA, 95814
CITY OF SACRAMENTO
ASSESSOR PARCEL NUMBER: 006-0045-003 & 006-0045-002

SITE FENCING & FURNISHINGS DETAILS

DRAWING STATUS:
FOR DESIGN REVIEW APPROVAL
ISSUE DATE:
14 MARCH 2025

SHEET NO.

L3.1

ADA Metal Picnic Table - 8' Rectangle, Black



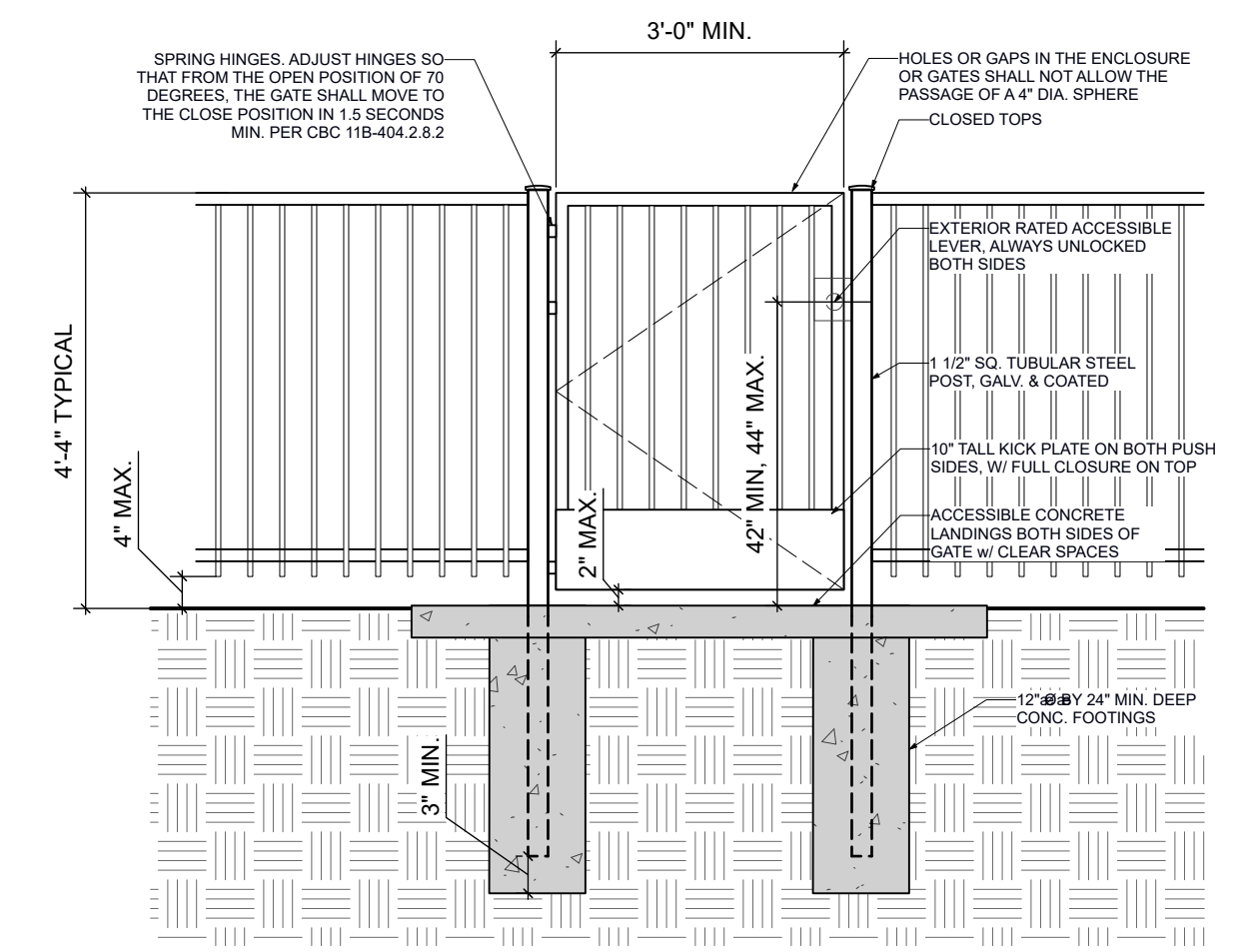
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Uline loves these! Attractive, rugged and built to last. Give your corporate office patio an upscale look.

- Thermoplastic coating withstands heat, cold and all weather elements. Rust free.
- High gloss, smooth surface allows for easy spray paint and graffiti removal.
- 9 gauge expanded metal with 2" black steel frame.
- Rounded corners for added safety.
- Wheelchair access with shorter benches.
- Mounting hardware included.

MODEL NO.	DESCRIPTION	SIZE L x W x H	WT. (LBS.)
H-2673BL	8' ADA Rectangle	96 x 61 x 31"	160

6 PICNIC TABLE
Scale: NTS



3 GATE AT DOG PARK
Scale: NTS



More Images

TERRACE BENCHES
Strength and style for office parks and streetscapes.

- Comfortable, contoured seat and armrests.
- Weather-resistant, thermoplastic finish.
- Heavy-duty slatted steel construction.
- Bench mounting hardware included.

MODEL NO.	DESCRIPTION	SIZE L x W x H	WT. (LBS.)
H-7930	6' Bench with Back	72 x 25 x 37"	150

8 BENCH
Scale: NTS



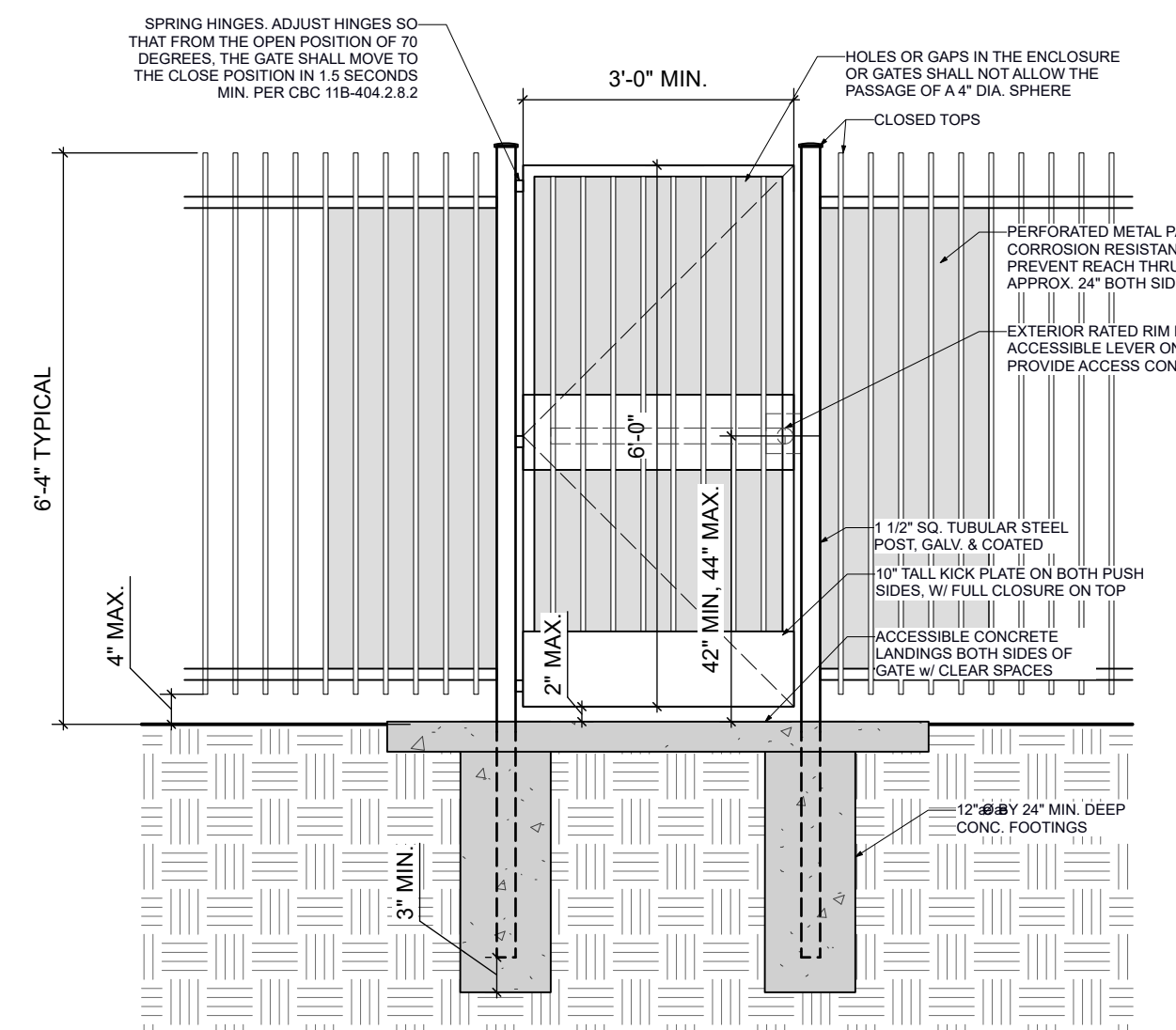
More Images

CIRCLE BIKE RACK
Clean, minimalist design for metro areas.

- 2 contact points for locking frame and wheel.
- 10-gauge, galvanized steel or attractive powder coating.
- Mounting hardware included.

MODEL NO.	DESCRIPTION	SIZE L x W x H	BIKE CAPACITY	WT. (LBS.)
H-6572	Circle	35 x 2 1/2 x 33"	2	32

5 BIKE RACK DETAIL
Scale: NTS



2 GATE - TYPICAL ACCESSIBLE
Scale: NTS



DOG WASTE SYSTEM
Keeps apartment landscaping, hiking trails, dog parks and recreation areas free of dog waste.

- **Sign** - Large, easy-to-read reflective aluminum.
- **Dispenser** - Tough, powder-coated aluminum. Locking front panel. Includes 400 bags.
- **Receptacle** - 18-gauge steel. Includes retainer band. 10-gallon capacity.

MODEL NO.	DESCRIPTION	SIZE L x W x H	WT. (LBS.)
H-2898*	Sign	12 x 18"	2
H-2897*	Dispenser	9 x 3 x 16"	7
H-3491*	Receptacle	11.5" Diam. x 23" H	16

8 ft. U-Channel Post

7 PET WASTE STATION
Scale: NTS



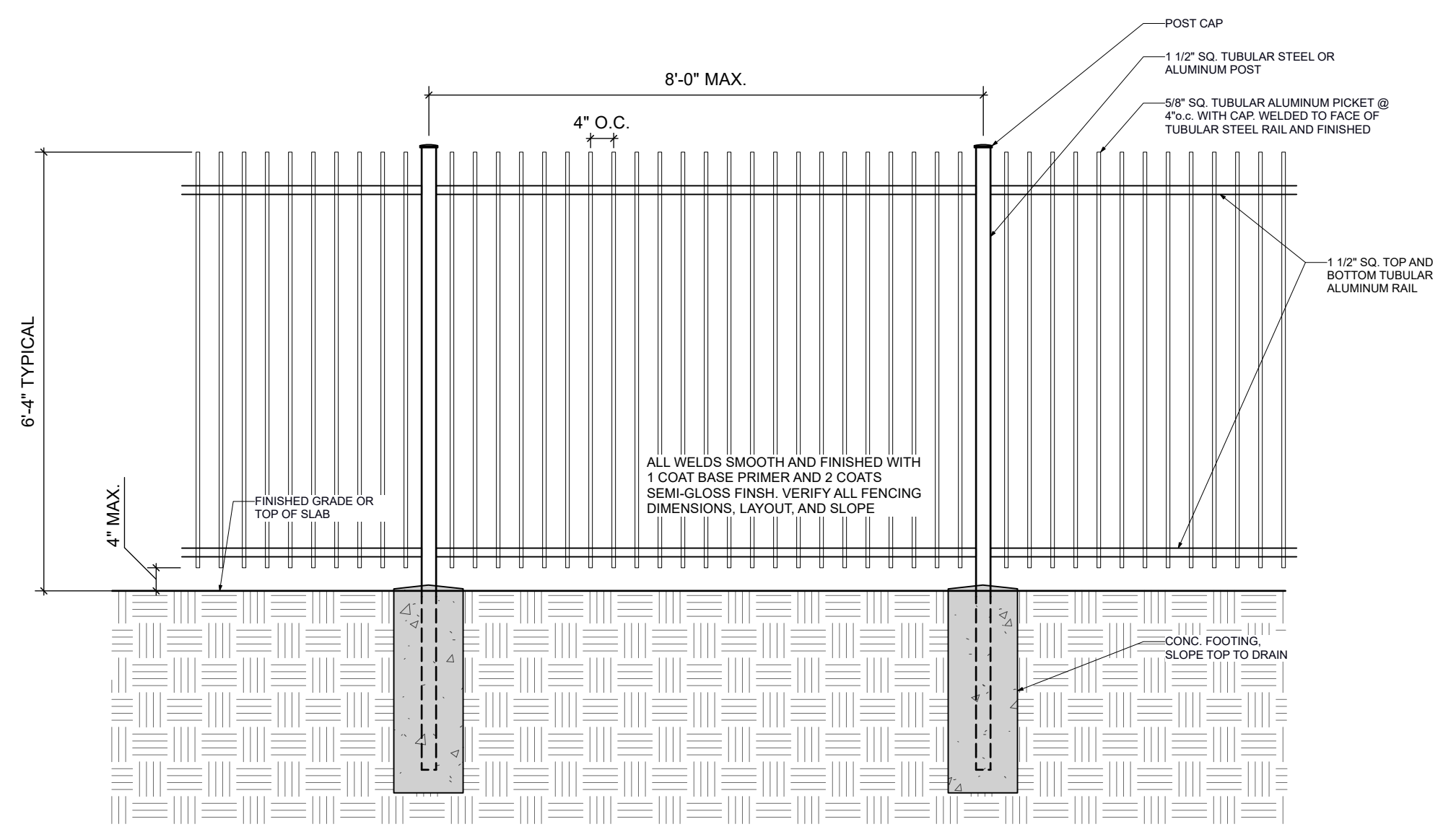
COURTYARD TRASH CANS
An attractive, vandal-proof hideaway for trash.

- For parks, offices and city streets.
- Slatted steel bars deter vandalism.
- Weather and rust-resistant, powder-coat finish
- Includes black plastic liner and anchor kit.
- H-5171 - Bonnet lid keeps out rain and snow.

PROVIDE TRASH & RECYCLE BINS

MODEL NO.	DESCRIPTION	CAPACITY	SIZE DIAM. x H	WT. (LBS.)
H-2865	Flat Lid	36 Gallon	28 x 36"	93
H-5171	Bonnet Lid			96

4 SITE TRASH RECEPTACLE
Scale: NTS



1 TYPICAL FENCING
Scale: NTS



Arborist Survey and Tree Inventory

REPORT DATE: February 21, 2025

PROPERTY INFORMATION

815 11th Street
Sacramento, California

PROJECT INFORMATION

AEI Project No.493043

PREPARED FOR

Danco Communities

5251 Ericson Way
Sacramento, California

PREPARED BY

AEI Consultants – Corporate
Headquarters
2500 Camino Diablo
Walnut Creek, California 94597
And
Graening & Associates, LLC
520 Wallingsford Lane 95630
Folsom, California

February 21, 2025

Mr. Jayden Johnson
Development Project Manager
Danco Communities
5251 Ericson Way
Arcata, California 95521

**Subject: Arborist Report
815 11th Street
Sacramento, California 95814
AEI Project No.493043**

Dear Mr. Johnson,

Based on comments received dated February 4, 2025 from Ms. Erica Allen with City of Sacramento, Department of Public Works, Urban Forestry Section, AEI Consultants (AEI) is pleased to provide the revised Arborist Report for the above-referenced property.

PROJECT AREA

Pertinent Project Area Information is noted below:

Site Address(es)	815 11 th Street, Sacramento, California 95814
Property ID	006-0045-003
Location	Sacramento, California
Property Type	Commercial
Approximate Site Acreage/Source	9,228 square feet
Property Description	Commercial

The immediate surrounding properties consist of the following:

Direction from Project Area	Tenant/Use (Address)
North	H Street followed by commercial office/business
East	Multi-family residential, followed by 12 Street and commercial business
South	Terminal Way followed by commercial retail/business
West	11 th Street followed by commercial business

INTRODUCTION

An arborist survey was performed by Dr. Geo Graening, a licensed arborist at 815 11th Street, Sacramento, California. The purpose of this survey was to inventory and map all of the trees on the property. These survey results should not be construed as a technical analysis for any particular tree, such as for individual tree hazard assessment, plant appraisal, tree health diagnosis, or tree care prescription. Additional field assessment would be needed for recommendations for each tree. However, this report could be used to assist in the application for tree permits to perform maintenance work.

REGULATORY SETTING

The City of Sacramento regulates trees within their jurisdiction according to Tree Ordinance No. 2016-0026 (Sacramento City Code Title 12, Chapter 12.56. et seq.). A tree permit is required to perform regulated work on "City Trees" or "Private Protected Trees" (which includes trees formerly referred to as "Heritage Trees"). "City Trees" are defined as trees partially or completely located in a City park, on City owned property, or on a public right-of-way, including any street, road, sidewalk, park strip, mow strip, or alley. "Private Protected Trees" are defined as trees designated to have special historical value, special environmental value, or significant community benefit, and are located on private property. Private protected trees are:

- Any native Valley Oak (*Quercus lobata*), Blue Oak (*Quercus douglasii*), Interior Live Oak (*Quercus wislizeni*), Coast Live Oak (*Quercus agrifolia*), California Buckeye (*Aesculus californica*), or California Sycamore (*Platanus racemosa*), that has a Diameter Standard Height (DSH) of 12 inches or more, and is located on private property.
- All trees at least 32 inches DSH on land with an existing single family or duplex dwelling.
- All trees at least 24 inches DSH on undeveloped land or any other type of property such as commercial, industrial, and apartments.

Diameter Standard Height (DSH), also known as diameter at breast height, is the diameter of a tree measured at 4.5 feet above natural grade, except as specified below:

- A. For a tree that branches at or below 4.5 feet, DSH means the diameter at the narrowest point between the grade and the branching point.
- B. For a tree with a common root system that branches at the ground, DSH means the sum of the diameter of the largest trunk and one-half the cumulative diameter of the remaining trunks at 4.5 feet above natural grade.

"Regulated work" means planting a city tree, or any act that could adversely impact the health of a city tree or private protected tree such as:

- A. Removing a city tree or private protected tree;
- B. Pruning the branches or roots from a city tree or private protected tree;
- C. Affixing any signs, lights, or hardware to a city tree;
- D. Grading, clearing, excavating, adding fill soil, trenching, boring, compacting,

- or paving within the tree protection zone of a city tree or private protected tree;
- E. Placing or storing construction equipment or construction material within the tree protection zone of a city tree or private protected tree;
- F. Application of any harmful substance within the tree protection zone of a city tree or private protected tree; or
- G. Topping a city tree or private protected tree.

Regulated work does not include routine maintenance. "Routine maintenance" is defined as: minor pruning; irrigation; mulch application, mowing or trimming grass or other ground cover close to a tree; application of fertilizer, insecticides, or herbicides in accordance with their label; or any other similar acts that promote the life, growth, or health of trees. "Minor pruning" means the removal of dead branches; or cutting of roots or branches less than two inches in diameter, measured at the location of the cut, from a private protected tree in a cumulative amount of no more than 10% of a combination of the root system and tree crown within a twelve-month period. "Tree protection zone" means the area around a tree within the outermost circumference of the canopy or as set forth in a tree protection plan.

METHODOLOGY

An Arborist Survey was performed on May 10, 2024 by the International Society of Arboriculture (ISA): Dr. G.O. Graening, ISA Certification Number WE-6725A. Methods followed standards of the ISA, the American National Standards Institute, Inc., and the City of Sacramento Tree Ordinance No. 2016-0026 (Sacramento City Code Title 12, Chapter 12.56. *et seq.*). The survey inventoried trees that met the jurisdictional criteria of the Sacramento Tree Ordinance.

The Arborist Survey/tree inventory was performed by currently certified arborist, Dr. G.O. Graening, ISA Certification Number WE-6725A. Methods followed standards of the International Society of Arboriculture (ISA) and American National Standards Institute, Inc. and the City of Sacramento Tree Ordinance No. 2016-0026 (Sacramento City Code Title 12, Chapter 12.56. *et seq.*). The survey inventories trees that met the jurisdictional criteria of the Sacramento Tree Ordinance.

The following texts were consulted for tree identification, as needed: Pavlik (1991); Lanner (2002); Stuart and Sawyer (2001); Baldwin et al. (2012); and University of California at Berkeley (2013a,b). Diameter at breast height (DBH), which is 4.5 feet above soil grade, was measured using a girth tape (+/- 0.5 inch).

In the case of trees with multiple trunks, the diameter of all stems (trunks) at breast height were combined to calculate the DBH of the tree.

For each tree on the property, the following was performed:

- Each tree was given a sequential number and georeferenced with a sport-grade handheld GPS receiver;
- Each tree was tagged with an aluminum tag of the same number with an aluminum nail at a height of 6 feet, facing south;
- Each was identified to species;

- DBH was measured, which is 4.5 feet above soil grade using a girth tape (+/- 0.5 inch);
- General plant health was assessed (categories of good, fair, poor, dying/dead).

The tags were typical aluminum tree tags, with round tags spanning numbers 113-126; aluminum nails were used for safety and tree health.

FINDINGS

A Tree Inventory Map (See Appendix A) shows the location of all inventoried trees. 16 mature trees (6-inches DBH or greater) were inventoried in the Project Area. The list of inventoried trees, their DBH, condition and our understanding of their protected status are summarized in Table 1 - Tree Inventory Summary below.

All of the trees meet the definition of City Trees except tree No.113 ornamental cedar and No. 17 Japanese maple, which are inside the property boundary. These tree do not meet the definition of a Private Protected Tree because they are not at least 24 inches in diameter. Most of the trees were also inventoried by the City and have been given a City tree number.

The City tree inventory indicates City Tree No.135687, a Japanese Zelkova, in the landscape planter strip on 11th Street. Urban Forestry recognizes that this tree is no longer present and is therefore not part of the scope of this project.

Table 1

Tag #	Scientific Name	Common Name	DBH (inches)	Condition/Comment
113	<i>Cedar, ornamental Cedrus sp.</i>	Cedar	23.9	Fair condition;
114	<i>Purple plum Prunus cerasifera</i>	Purple Plum	3+3+1+1+4	Good condition; multi-stemmed
115	<i>Sweetgum Liquidambar styraciflua</i>	Sweetgum	29.2	Poor/fair condition; appears stressed, needs water? City Tree #68875
116	<i>Sweetgum Liquidambar styraciflua</i>	Sweetgum	21.0	Poor/fair condition; multi-stem; con-dominant stem appears stressed, needs water? City Tree #68876
117	<i>Japanese maple Acer palmatum</i>	Japanese Maple	7.1	Fair condition

Tag #	Scientific Name	Common Name	DBH (inches)	Condition/Comment
118	Evergreen pear <i>Pyrus kawakamii</i>	Evergreen Pear	20.5	Fair condition; City Tree #68878
119	Valley oak <i>Quercus lobata</i>	Valley Oak	9.1	Poor/fair condition; City Tree #68918
120	Valley oak <i>Quercus lobata</i>	Valley Oak	28.0	Fair Condition; City Tree #68919
121	White alder <i>Alnus rhombifolia</i>	White Alder	22.5	Poor/fair condition; stressed, insect boring?; City Tree #68920
122	White alder <i>Alnus rhombifolia</i>	White Alder	19.9	Poor/fair condition; stressed; significant lean, recommend monitoring lean; City Tree #68921
123	Valley oak <i>Quercus lobata</i>	Valley Oak	13.0	Poor/fair condition; City Tree #68922
124	Red maple <i>Acer rubrum</i>	Red Maple	6.9	Good condition; City Tree #144965
125	English Elm <i>Ulmus procera</i>	English Elm	34.8	Good condition; utility conflicts; City Tree #68827
125b	Shumard Oak <i>Quercus shumardii</i>	Shumard Oak	1.0	Good condition; not tagged; recently planted sampling; City Tree #239778
126	Chinese tallow <i>Triadica sebifera</i>	Chinese Tallow	13.4	Fair condition; City Tree #68827
No Tag	<i>Acer palmatum</i>	Japanese maple	1.0	City Tree #241214

PROPOSED TREE PRUNING AND REMOVAL

The plans indicate the removal of four trees:

- Tree #113 private tree, Cedar, 23.9 in DSH, not protected
- Tree #114 private tree, Purple-leaf Plum, 7 in DSH, not protected
- Tree #117 private tree, Japanese Maple, 7 in DSH, not protected
- Tree #118 City tree, Evergreen Pear, 20 in DSH, City tree #68878

The City's Tree Ordinance requires issuance of a tree permit before City Trees or Private Protected Trees can be trimmed or removed. Mitigation is required.

The plans indicate that the building will be constructed in close proximity to the northern property boundary along H Street. There are two existing oaks that are City trees here (TREE-68918 and TREE-68919) with canopies that overhang the property boundary and may require pruning for building clearance under the current plans. It is unclear if standard pruning is feasible to obtain the necessary clearance. Non-standard pruning of City trees (e.g. cutting more than 25% of the canopy) requires a tree entitlement and review by the planning director. Tree protection measures are provided in the Appendix A.

LITERATURE CITED AND FURTHER READING

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LIMITATIONS AND RELIANCE

AEI has completed an Arborist Survey for Danco Communities. The completed work includes a review of Project data obtained from the client, available online resources, and field reconnaissance. The information collected and summarized in this report is based on the scope of work for which AEI was retained and the limitations inherent in this type of work. AEI reviewed and evaluated the thoroughness of and relied upon information derived from secondary sources including governmental agencies and publicly available online databases. Although it appears that the information obtained from the sources accessed for this analysis is thorough and reliable, AEI extends no guarantee regarding the thoroughness and reliability of this information. Other information may become available at a later date which may alter the opinions of this report.

Any conclusions and/or recommendations are based on the information obtained from the sources listed above and current governing regulations. No conclusions should be inferred from this document beyond those stated and reported herein. This Arborist Survey was completed in accordance with generally accepted practices in the environmental and biological resources consulting field in existence at the time and location of the work. No other warranty, expressed or implied, has been made.

All reports, both verbal and written, are for the benefit of Danco Communities. This report has no other purpose and may not be relied upon by any other person or entity without the written consent of AEI. Either verbally or in writing, third parties may come into possession of this report or all or part of the information generated as a result of this work. In the absence of a written agreement with AEI granting such rights, no third parties shall have rights of recourse or recovery whatsoever under any course of action against AEI, its officers, employees, vendors, successors or assigns. Reliance is provided in accordance with AEI's Proposal and Standard Terms and Conditions executed via email by Danco Communities on November 16, 2023. The limitation of liability defined in the Terms and Conditions is the aggregate limit of AEI's liability to the client and all relying parties.

We appreciate the opportunity to provide services to you. If you have any questions concerning this Arborist Report, or if we can assist you in any other matter, please contact Valerie Marshall at 310.847.9972 or vmarshall@aeiconsultants.com.

Sincerely,



Dr. G. O. Graening
Consulting Arborist
Graening & Associates



Valerie Marshall
Vice President
Natural Resources & Permitting

APPENDICES

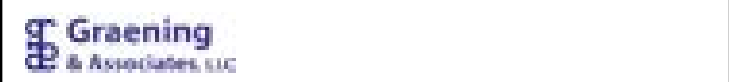
Appendix A - Tree Inventory Map
Tree Identification Map
Tree Overlay Map on Survey
Tree Protection Measures




APPENDICES

**APPENDIX A
TREE INVENTORY MAP
TRR IDENTIFICATION MAP
TREE OVERLAY MAP ON SURVEY
TREE PROTECTION MEASURES**



Tree Inventory Map
 Sutter House Inn Project at 815 11th Street, Sacramento

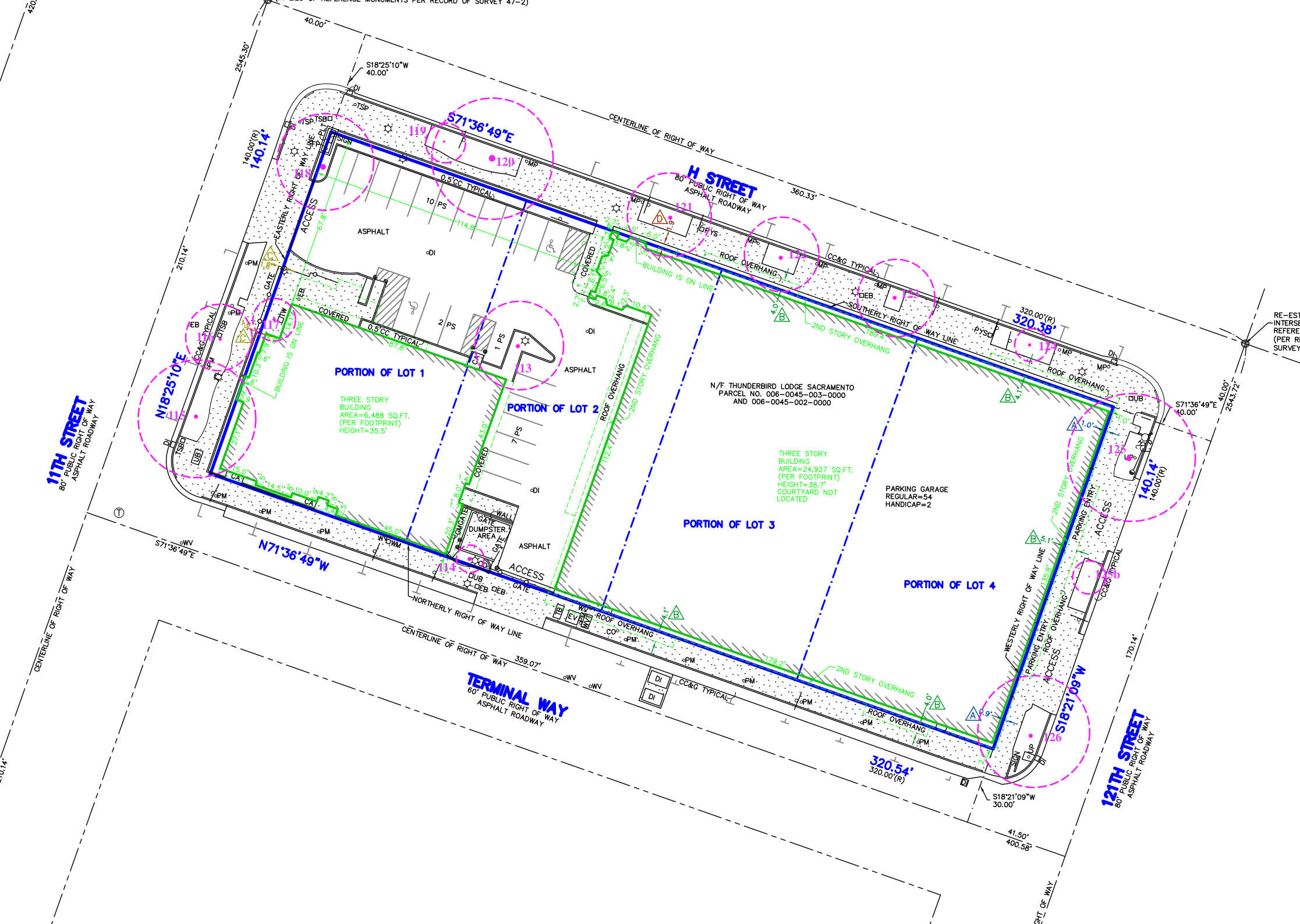


<p> Parcel boundaries</p>	<p>Tree Inventory</p> <p> Tag #</p> <p> Dripline Radius (based upon longest branch)</p>
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Tree Identification Map
 815 11th Street, Sacramento, CA





11TH STREET
80' PUBLIC RIGHT OF WAY
ASPHALT ROADWAY

H STREET
80' PUBLIC RIGHT OF WAY
ASPHALT ROADWAY

TERMINAL WAY
60' PUBLIC RIGHT OF WAY
ASPHALT ROADWAY

121ST STREET
80' PUBLIC RIGHT OF WAY
ASPHALT ROADWAY

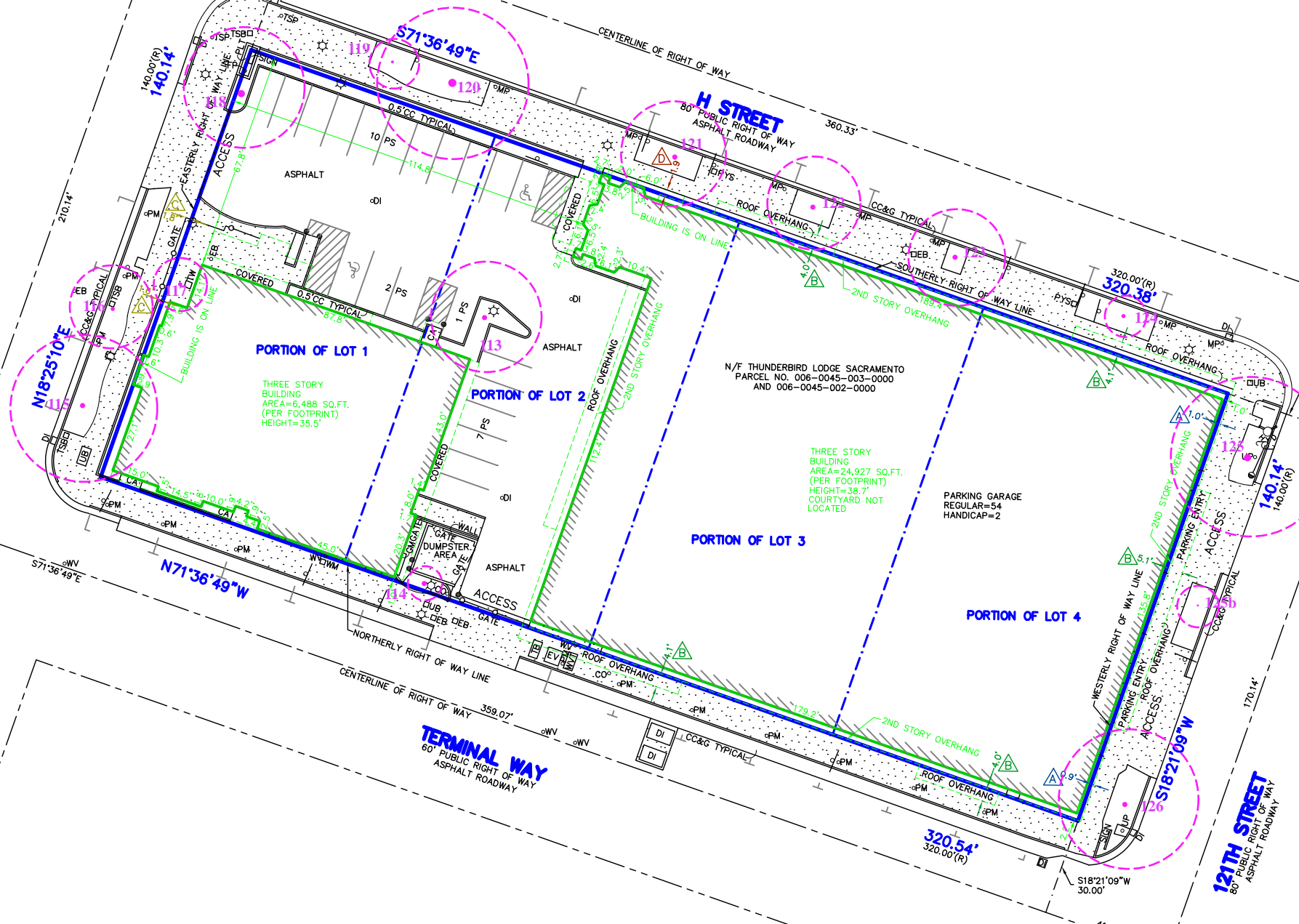
N/F THUNDERBIRD LODGE SACRAMENTO
PARCEL NO. 006-0045-003-0000
AND 006-0045-002-0000

THREE STORY
BUILDING
AREA=6,488 SQ.FT.
(PER FOOTPRINT)
HEIGHT=35.5'

THREE STORY
BUILDING
AREA=24,927 SQ.FT.
(PER FOOTPRINT)
HEIGHT=38.7'
COURTYARD NOT
LOCATED

THREE STORY
BUILDING
AREA=24,927 SQ.FT.
(PER FOOTPRINT)
HEIGHT=38.7'
COURTYARD NOT
LOCATED

PARKING GARAGE
REGULAR=54
HANDICAP=2



RE-EST
INTERSE
REFERE
(PER R
SURVEY

Tree Protection Measures

Required Tree Preservation Measures for City and Private Protected Trees

1. This project shall contract with a Project Arborist experienced with tree protection and construction that is required to:
 - a. Attend the preconstruction meetings to approve of and inform contractors of all tree protection measures.
 - b. Visit the site before and after demolition, grading and landscaping as well as at least twice each month during construction to ensure that tree protection measures are implemented and maintained.
 - c. Be responsible for correcting any site conditions that may negatively impact the trees and revisit the site to ensure that corrective action was properly implemented.
 - d. The Project Arborist shall report in writing to Urban Forestry all violations and tree protection failures along with corrective action taken and expected outcomes.
 2. All concrete sidewalks and driveways shall be retained throughout construction to protect the roots and soil from the impacts of construction activities.
 - a. Existing driveways shall be used as the sole access to the site. Where there are no existing driveways, access shall be limited to a one or two locations outside the dripline of protected trees that have protection from soil compaction with the use of one or more of the following: A 6-inch layer of hardwood chips covered by ¾-inch plywood or trench plates, geotextile fabric covered by a 6-inch layer of hardwood chips or an alternative that is approved by the City Arborist.
 3. Right-of-way planters and City trees shall be separated from the construction site with a six-foot high chain link fence that shall remain throughout the duration of the project to protect trees and to prevent construction traffic from compacting the soil in the planters.
 4. Construction trailers and port-a-potties shall be placed on existing hardscape or bridged over the tree protection zone or planter so as not to compact soil.
 5. Any Regulated Work within the dripline or Tree Protection Zone of a protected tree shall be separately permitted prior to the start of construction and supervised by a Certified Arborist. Submit a tree permit application and a tree protection plan created by a Certified Arborist to UrbanForestry@cityofsacramento.org and refer to the planning project number or off-site project number.
 6. All excavation, grading, or trenching within the dripline of a protected tree for the purpose of utility installation, constructing foundations, footings, sidewalks, curbs, gutters, or any other reason shall employ one of the following methods: Hydro-excavation, pneumatic excavation or hand digging and shall be directly supervised by a Certified Arborist.
 7. There shall be no excavation deeper than the existing excavation for sidewalks within the dripline of protected trees.
 8. There shall be no grade changes within the dripline of protected trees. All grade changes shall be accommodated onsite.
 9. There shall be no soil compaction within the dripline of protected trees.
 10. There shall be no non-native soil, non-organic matter or structural soil added to the right-of-way planter.
-

11. The following is a list of activities that require a tree permit if they are to occur or be used within the right-of-way planter and/or within the tree protection zone of protected trees: any regulated work as defined in SCC 12.56, excavation, grade changes, trenches, root or canopy pruning, or boring.

12. The following is a list of activities that are prohibited within the right-of-way planter and/or tree protection zone of protected trees: pedestrian and equipment traffic that could compact the soil or physically damage roots, parking vehicles, equipment and/or port-a-potties, storing of soil, construction materials, petroleum products, water or building refuse, disposing of wash water, paint, cement, fuel or other potentially damaging liquids, and any other activities that may have negative impacts on the trees and soil.

13. All trees shall be watered regularly according to the recommendation of the Project Arborist.

14. The applicant shall be financially responsible for any damage to City trees associated with the project. Accidental or negligent actions that damage City trees may result in a penalty. The monetary value of any such damages will be appraised by the City Urban Forester or his authorized representative and shall be expressed as the monetary equivalent of all labor and materials required to bring the tree in question to a state of comparable utility with regards to its condition and function prior to the beginning of the project.
