

Agenda

Director Hearing

Published by the
Community Development Department
(916) 264-5011

DIRECTOR(S)

Bruce Monighan, Design Director,
Sean de Courcy, Preservation Director
Kevin Colin, Zoning Administrator

CITY STAFF

Jordyn Tanaka, Administrative Technician

Thursday December 19, 2024
1:00 p.m.

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1. 1617 Cordano Way Addition (DR24-210) (Noticed 12/06/2024)

Location: 1617 Cordano Way; APN: 012-0251-007-0000; (District 7, Represented by Councilmember Jennings)

Entitlements: **Item A.** Environmental Exemption (Per CEQA 15301-Existing Structures); **Item B.** Site Plan and Design Review Deviation for rear and interior setbacks in the R-1 Zone in the Citywide Design Review District on a 0.15-acre parcel. The applicant is proposing to enclose and condition the current open space between the house and the detached garage/accessory room.

Contact: Whitney Johnson, Assistant Planner, (916) 808-8947, WJohnson@cityofsacramento.org

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Director Hearings

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Webinar ID: 878 5983 3485 **Passcode:** 198541

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Meeting ID: 87859833485 **Passcode:** *198541#

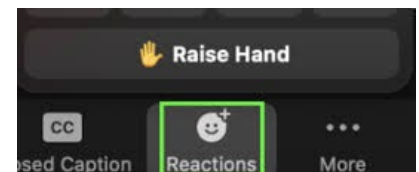
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- a. **Online:** If you are online, click on "Raise Hand" on the bottom of your screen. First click "reactions"; then click "Raise Hand" (see image at right).

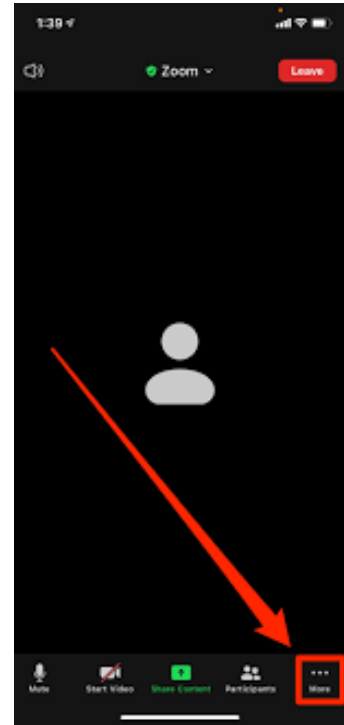


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**CITY OF SACRAMENTO
COMMUNITY DEVELOPMENT DEPARTMENT
DIRECTOR HEARING
300 Richards Blvd, 3rd Floor, Sacramento, CA
95811**

STAFF RECOMMENDATION

Staff recommends the Design Director approve, with conditions, a deviation for rear and interior yard setbacks and the Site Plan and Design Review to enclosed and condition and existing detached garage project known as file **DR24-210**. Draft Findings of Fact and Conditions of Approval for the project are included below.

REQUESTED ENTITLEMENTS

1. **Environmental Determination** is exempt from the provisions of the California Environmental Quality Act (CEQA) under Class 1, Section Number 15301, Existing Facilities.
2. **Site Plan and Design Review** to enclose and condition an existing detached garage located on a 0.15-acre lot in the Residential Zone (R-1) Zone, within City Wide Design Review District.

PROJECT INFORMATION

Location: 1617 Cordano Way, Sacramento, Ca 95818

District: 7, Represented by Caity Maple

Assessor's Parcel Number: 012-0251-007-0000

Applicant: Serup Sarita & Yogesh/Bjarni
1617 Cordano Way, Sacramento, Ca, 95818

Property Owner: Serup Sarita & Yogesh/Bjarni
1617 Cordano Way, Sacramento, Ca, 95818

Project Planner: Whitney Johnson, Assistant Planner, (916) 808-8947

Land Use Information

General Plan Designation: Neighborhood
Community Plan Area: Land Park
Zoning: Single-Unit Dwelling or Duplex Dwelling Zone (R-1)
Design Review Area: Citywide SPDR
Existing Land Use of Site: Single Family Residence

Surrounding Zoning and Land Use:

North:	(R-1)	Middle School
South:	(R-1)	Single-unit Dwelling
East:	(R-1)	Single-unit Dwelling
West:	(R-1)	Single-unit Dwelling

Site Information:

Existing Property Dimensions:	50.6' wide x 132' deep; Approx. 0.15 acres
Topography:	Flat
Street Improvements:	None
Utilities:	Existing

Setback Information:

	Required:	Proposed:
Interior side-yard (East)	5' - 0"	0'-0" (existing)
Rear yard (North)	15'-0"	12'-8" (existing)

Project Analysis:

The project site consists of an existing single-family residence located at 1617 Cordano Way. The applicant is proposing to connect the existing garage and accessory structure with the main residence by enclosing and conditioning the space between the structures. The proposal also calls for a new deck along the west side of the property.

The proposed remodel/addition will reuse the existing materials where applicable. The new materials will match that of the existing and include, composition shingles, Redwood or Cedar milled siding, wood grided windows and French doors and composite decking.

The existing side-yard setback of the existing garage and accessory structure is 0'-0", which does not meet Sacramento City Code (SCC) 17.204.240(B) minimum requirements for interior side-yard setbacks:

- 1. Unless paragraph 2 or 3 of this subsection applies, the minimum interior side-yard setback is five feet.*
- 2. A minimum interior side-yard setback of three feet applies to interior lots having a width of less than 52 feet and corner lots having a width of less than 62 feet*

The existing rear yard setback of the existing garage and accessory structure is 12'-8" which does not meet the Sacramento City Code (SCC) 17.204.240(D) minimum requirements for rear yard setbacks:

- 1. Unless paragraph 2 of this subsection applies, the minimum rear-yard setback is 15 feet.*
- 2. If the rear lot line abuts a public alley, the minimum rear-yard setback is five*

feet.

The applicant is requesting a deviation through a public hearing to allow the reuse of the existing non-conforming garage and accessory structure to be remodeled within the rear yard and side-yard setback. The reasons given for requesting this deviation include:

- The reuse of the existing structures reduces the environmental impact of the remodel and allows for the reuse of existing materials
- Several neighbors on the block have similar existing rear yard structures shown with in the required rear yard and side yard setback

Staff supports the deviation and finds that the project is consistent with the purpose and intent of applicable design guidelines and development standards in that: 1) The proposed non-conforming structures rear yard setback already exists at the 12"-8"; 2) the proposed side encroachment does not significantly impact the neighbor to the east; since it is an existing non-conforming condition and 3), the encroachment does not negatively impact the established assemblage of homes on the block and complements them through the use of an established accessory structure found throughout the neighborhood.

Furthermore, the repurposed garage and expansion of the home maintains the single story design aesthetic and materiality and does not visually impact the adjacent neighbor.

Public Comments:

Property owners, tenants, and neighborhood groups within 500 feet of the subject site received notification of the public hearing occurring on Thursday, December 19th, 2024. Neighborhood associations that were notified for the hearing include Land Park Community Association, Sacramento Riverfront Association, Preservation Sacramento Staff has not received any correspondence from the public regarding this project as of the drafting of this report.

Environmental Considerations:

The project is also determined to be is exempt from the provisions of the California Environmental Quality Act (CEQA) under Class 1, Section Number 15301, Existing Faculties.

200-Year Flood Protection:

State Law (SB 5) and Planning and Development Code chapter 17.810 require that the City must make specific findings prior to approving certain entitlements for projects within a flood hazard zone. The purpose is to ensure that new development will have protection from a 200-year flood event or will achieve that protection by 2025. The project site is within an area for which the local flood-management agency has made adequate progress (as defined in California Government Code section 65007) on the construction of a flood-protection system that, for the area intended to be protected by the system, will result in

flood protection equal to or greater than the urban level of flood protection in urban areas for property located within a flood-hazard zone, as demonstrated by the SAFCA Urban Level of Flood Protection Plan and Adequate Progress Baseline Report and the SAFCA Adequate Progress Toward an Urban Level of Flood Protection Engineer's Report, each accepted by the City Council on June 21, 2016 (Resolution No. 2016-0226), and the SAFCA 2023 Adequate Progress Annual Report accepted by the City Council on October 24, 2023 (Resolution No. 2023-0337).

Draft Findings of Fact:

Site Plan and Design Review:

1. The design, layout, and physical characteristics of the proposed development are consistent with the general plan and any applicable specific plan or transit village plan in that the proposal adheres to the goals and policies of the general plan land use designation of Neighborhood.
2. The design, layout, and physical characteristics of proposed development are consistent with all applicable design guidelines and with all applicable development standards for the R-1 zone and the architectural design standards for the citywide design guidelines with exception of the existing non-conforming rear yard and side-yard setback.
3. All streets and other public access ways and facilities, parking facilities, and utility infrastructure are adequate to serve the proposed development and comply with all applicable design guidelines and development standards.
4. The design, layout, and physical characteristics of the proposed development are visually and functionally compatible with the surrounding neighborhood in that the exterior design and massing of the project are compatible with the design of the adjacent residential buildings.
5. The design, layout, and physical characteristics of the proposed development ensure energy consumption is minimized and use of renewable energy sources is encouraged.
6. The design, layout, and physical characteristics of the proposed development are not detrimental to the public health, safety, convenience, or welfare of persons residing, working, visiting, or recreating in the surrounding neighborhood and will not result in the creation of a nuisance and will not be a detriment to the neighborhood.
7. The project site is within an area for which the local flood-management agency has made adequate progress (as defined in California Government Code section 65007) on the construction of a flood-protection system that, for the area intended to be protected by the system, will result in flood protection equal to or greater than the urban level of flood protection in urban areas for property located within a flood-hazard zone, as demonstrated by the SAFCA Urban Level

of Flood Protection Plan and Adequate Progress Baseline Report and the SAFCA Adequate Progress Toward an Urban Level of Flood Protection Engineer's Report, each accepted by the City Council on June 21, 2016 (Resolution No. 2016-0226), and the SAFCA 2024 Adequate Progress Annual Report accepted by the City Council on October 22, 2024 (Resolution No. 2024-0311).

DRAFT CONDITIONS OF APPROVAL:

Planning / Design Review

1. The remodel and addition shall be constructed per approved plans and conditions of approval.
2. Provide the following building materials for the remodel and addition as indicated per approved plans.
 - a. Dimensional composition shingle roof, match existing
 - b. Horizontal Redwood or Cedar milled siding, match existing
 - c. Single/double hung and fixed dual pane wood grided windows with painted decorative wood trim and sill
 - d. Rustic Knotty Adler solid wood front door, painted to match existing
 - e. Wood or composite glazed French doors with sidelites at west elevation
 - f. Composite deck planking with new wood trellis, to match existing

General

3. Any new HVAC units shall be attic or ground mounted and shall be screened from street view. No new roof mounted or wall mounted HVAC units are allowed.
4. Trash receptacles and irrigation controls shall be screened from street view.
5. The applicant shall obtain all necessary building permits prior to commencing construction. No permits shall be issued within the 10-day appeal period.
6. All other notes and drawings on the final plans as submitted by the applicant are deemed conditions of approval. Any work that differs from the final set of plans approved by the Planning staff shall be subject to review and approval prior to issuance of a building permit or work undertaken.
7. Any modification to the project shall be subject to the review and approval of planning staff (and may require additional entitlements).

8. This approval shall expire in three (3) years from the approval date.

SMUD

9. SMUD has existing overhead 21kV and low voltage/secondary facilities along the north side of the property that will need to remain. The Applicant shall be responsible for maintaining all CalOSHA and State of California Public Utilities Commission General Order No. 95 safety clearances during construction and upon building completion. If the required clearances cannot be maintained, the Applicant shall be responsible for the cost of relocation.
10. Structural setbacks less than 14-feet shall require the Applicant to conduct a pre-engineering meeting with all utilities to ensure property clearances are maintained.
11. Any necessary future SMUD facilities located on the Applicant's property shall require a dedicated SMUD easement. This will be determined prior to SMUD performing work on the Applicant's property.
12. In the event the Applicant requires the relocation or removal of existing SMUD facilities on or adjacent to the subject property, the Applicant shall coordinate with SMUD. The Applicant shall be responsible for the cost of relocation or removal.
13. SMUD reserves the right to use any portion of its easements on or adjacent to the subject property that it reasonably needs and shall not be responsible for any damages to the developed property within said easement that unreasonably interferes with those needs.
14. The Applicant shall not place any building foundations within 5-feet of any SMUD trench to maintain adequate trench integrity. The Applicant shall verify specific clearance requirements for other utilities (e.g., Gas, Telephone, etc.).
15. The Applicant shall comply with SMUD siting requirements (e.g., panel size/location, clearances from SMUD equipment, transformer location, service conductors). Information regarding SMUD siting requirements can be found at: <https://www.smud.org/en/Business-Solutions-and-Rebates/Design-and-Construction-Services>.

Advisory Notes

- ADV.1. Trees on adjacent parcels - While not required by city code for unprotected trees, the applicant has an obligation to protect trees owned by others on adjacent properties and should obtain permission to perform any work such as pruning or excavation within the dripline of such tree. Case law in California requires that reasonable care be taken to protect trees owned by others.

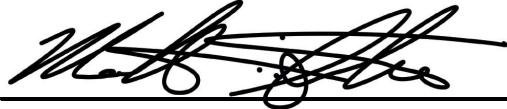
ADV.2. A 1-hour rated wall is required on the East side where the fire separation distance is less than 5'.

ATTACHMENTS:

Exhibit A: Site Plan, Floor Plan, Elevations.

Whitney Johnson

Whitney Johnson
Assistant Planner



Matthew Sites, AIA, LEED AP
Senior Architect

DEMOLITION REQUEST PRESERVATION REVIEW (DRPR)

SECTION 1: To be completed by Planning Staff.

- Yes No **The project proposes demolition of 50-percent or more of building footprint, or 50-linear feet or more of exterior wall?**
If checked NO, No DRPR or Demolition I&R Form required.
If checked YES, proceed to Section 2 below.

SECTION 2: To be completed by Planning Staff.

- Yes No **The project proposes only demolition and is not part of a development proposal.**
If checked NO, proceed to Section 3 below.
If checked YES, No DRPR required. Complete Demolition I&R ([Form CDD-0113](#)).

SECTION 3: To be Completed by Planning Staff. Attach color photos. Large format printed or digital preferred.

Project Information

Date of Pre-Application Meeting: _____
Date Application Submitted: 9/19/24
Date Application Deemed Complete: IP
Application Number: DR24-210
Address: 1617 Cordano Way, Sacramento, CA 95818
Assigned Planner: W. Johnson
Planner Phone Extension: 8947

Type of Structure:

- Accessory
 Residential (1 or 2 units)
 Commercial (3+ units, or other commercial/industrial)
 Other (bridge, water tower, etc.) Description: _____

Scope of Work

- Demolition and New Construction
 Demolition of ACCESSORY STRUCTURE ONLY and New Construction
 Residential Addition
 Commercial Addition (3+ units, or other commercial/industrial)
 Other Description: _____

PAGE 2 TO BE COMPLETED BY THE PRESERVATION DIRECTOR

HISTORIC RESOURCE PRELIMINARY EVALUATION

SECTION 4: To be completed by the Preservation Director.

- Project is part of a discretionary development proposal such as a SPDR Entitlement:** Attach completed DRPR to Record of Decision. Refer to Section 5 below.
- Project is part of a ministerial review, such as an ADU I&R:** Route to Preservation Director prior to completing Record of Decision. Attach completed DRPR to Record of Decision. Refer to Section 5 below.
- The 45-day review period has expired, and the property is deemed not eligible for listing in the Sacramento Register:** Attach completed DRPR to Record of Decision.

SECTION 5: Preservation Director determination or request for information.

- PROPOSED WORK COMPLIES WITH HISTORIC STANDARDS:** Therefore, whether the property includes a historical resource, there would not be a significant impact on any historical resources for CEQA purposes.
- NOT ELIGIBLE:** The Preservation Director has made a preliminary determination that the structure is NOT ELIGIBLE as a historical resource for CEQA purposes, nor for listing in the Sacramento Register (Preliminary Determination expires in 3 years)
- ELIGIBLE:** The Preservation Director has made a preliminary determination that the structure IS ELIGIBLE as a historical resource for CEQA purposes and may be eligible as a historic resource for listing in the Sacramento Register. **Project requires evaluation for compliance with historic standards or for possible impacts to historical resource and additional environmental review.**
- ADDITIONAL RESEARCH NEEDED:** The Preservation Director has determined that additional research and evaluation on the history and potential significance of the structure is required in order to make a preliminary determination, and:
 - \$500 research fee required (may be a deposit); or
 - Applicant will hire qualified historical consultant to research and evaluate the property.
- REQUEST MEETING WITH APPLICANT:** The Preservation Director has questions about the property, the photos provided, or the project and would like to meet with the applicant to discuss the project, its potential compliance with the historic standards, or to determine if an eligibility determination is warranted.

Notes:

Preservation Director's Signature: _____ **Date:** 9/25/2024

DJ FØEØ
Building design &
drafting services
916.960.6592
djfoese@gmail.com

BREEZEWAY ENCLOSURE & REMODEL

1617 CORDANO WAY, SACRAMENTO, CA. 95818 - APN: 012-0251-007-0000

COVER SHEET

1.1 - SITE PLAN
2.1 - EXISTING FLOOR PLAN W/ DEMO
2.2 - NEW FLOOR PLAN
3.1 - NEW EXTERIOR ELEVATIONS-EAST
3.2 - NEW EXTERIOR ELEVATIONS-WEST
4.1 - NEW EXTERIOR ELEVATIONS-NORTH
4.2 - NEW EXTERIOR ELEVATIONS-SOUTH
5.1 - FOUNDATION & RAISED FLOOR FRAMING PLAN
5.2 - FOUNDATION & FLOOR FRAMING DETAILS
5.3 - ROOF FRAMING DETAILS
5.4 - ROOF FRAMING DETAILS
5.5 - ROOF FRAMING DETAILS

SHEET INDEX

SO.1 - STRUCTURAL NOTES
S1.1 - WOOD SHEARWALL DETAILS
S1.2 - TYPICAL HOLDOWN DETAILS
S1.3 - TYPICAL I-J NOTES & DETAILS
S2.1 - FOUNDATION & RAISED FLOOR FRAMING PLAN
S2.2 - FOUNDATION & FLOOR FRAMING DETAILS
S5.1 - ROOF FRAMING DETAILS
S5.2 - ROOF FRAMING DETAILS
S5.3 - ROOF FRAMING DETAILS

AG.1 - COVER SHEET
A1.1 - SITE PLAN
A2.1 - EXISTING FLOOR PLAN W/ DEMO
A2.2 - NEW FLOOR PLAN
A3.1 - NEW EXTERIOR ELEVATIONS-EAST
A3.2 - NEW EXTERIOR ELEVATIONS-WEST
A4.1 - NEW EXTERIOR ELEVATIONS-NORTH
A4.2 - NEW EXTERIOR ELEVATIONS-SOUTH
A5.1 - FOUNDATION & RAISED FLOOR FRAMING PLAN
A5.2 - FOUNDATION & FLOOR FRAMING DETAILS
A5.3 - ROOF FRAMING DETAILS
A6.1 - NEW EXTERIOR ELEVATIONS-EAST
A6.2 - NEW EXTERIOR ELEVATIONS-WEST
A6.3 - NEW EXTERIOR ELEVATIONS-NORTH
A6.4 - NEW EXTERIOR ELEVATIONS-SOUTH
A7.1 - TITLE-24 CALCULATIONS & MANDATORY MEASURES
A8.1 - TYPICAL CONCRETE DETAILS
A8.2 - WOOD SHEARWALL DETAILS
A8.3 - TYPICAL I-J NOTES & DETAILS
A9.1 - FOUNDATION & RAISED FLOOR FRAMING PLAN
A9.2 - FOUNDATION & FLOOR FRAMING DETAILS
A9.3 - ROOF FRAMING DETAILS

EXISTING BUILDING AREA:
HOUSE (CONDITIONED) - 1,375 SF
ACCESSORY RM (UNCOND) - 288 SF
GARAGE (UNCOND) - 200 SF

NEW CONDITIONED AREA:
ADDITION (FAMILY RM, LAUND RM & VESTIBULE)
CONVERTED ACCESSORY RM (INTO MASTER BEDROOM)
CONVERTED PART OF GARAGE (MASTER RESTROOM)

TOTAL NEW CONDITIONED AREA:
EXISTING + ADD + CONVERTS - 2,248 SF

REMAINING GARAGE SPACE CONVERTED TO UNCONDITIONED EXTERIOR STORAGE SPACE.

BREZEWAY ENCLOSURE & REMODEL
1617 CORDANO WAY
SACRAMENTO, CA. 95818

DATE: 01.08.2024
JOB #: 23106
DRAWN BY: DJ

OWNER/CLIENTS
BUDG DESIGNER/DRAWER - DJ FESE
ADDRESS: 4903 G ST, SUITE 100, SACRAMENTO, CA 95818
(916) 966-6592
djfoese@gmail.com

STRUCTURAL ENGINEER - JUST TRANS
RESPONSE STRUCTURAL ENGINEERS
4541 FINE OAK BLVD, OAKLAND, CA 94612
(916) 438-1888
info@justtrans.com

TITLE-24
- JUST TRANS
COMPLICIA
4541 FINE OAK BLVD, OAKLAND, CA 94612
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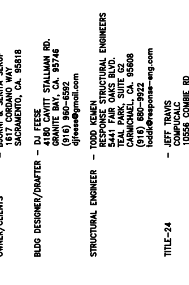
CONTRACTOR
- JAMISON MILLS
MILLS BUILDERS
3425 WILSON BLVD, SACRAMENTO, CA 95818
(916) 451-9133
jambuilders.com

APPLICABLE BUILDING CODES

2022 CALIFORNIA RESIDENTIAL BUILDING CODE (CBC)
2022 CALIFORNIA MECHANICAL CODE (CMC)
2022 CALIFORNIA ELECTRICAL CODE (CEC)
2022 CALIFORNIA FIRE CODE (FC) / 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CGSB)

OWNERSHIP OF DOCUMENTS

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL INFORMATION AND DRAWINGS FOR WHICH THEY ARE USED BY THE CLIENT ON OTHER PROJECTS OR IN ANY MANNER NOT AUTHORIZED BY THE CLIENT OR BY THIS AGREEMENT.



SYMBOLS LEGEND

1. ROOM TAG: [Symbol] ROOM NAME / FIN. #

2. WINDOW TAG: [Symbol] WINDOW TAG

3. ROOF PITCH: [Symbol] ROOF PITCH

4. DETAIL: [Symbol] DETAIL

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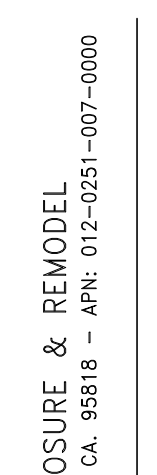
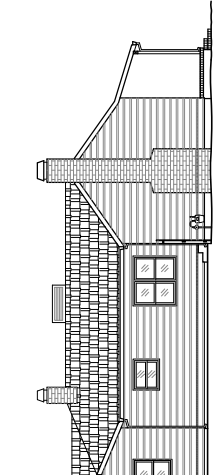
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14. INTERIOR ELEVATION TAG: [Symbol] INTERIOR ELEVATION TAG



1. HR - HURDLES
2. ADJ - ADJUSTMENTS
3. ALT - ALTIMETER
4. ALUM - ALUMINUM
5. BR - BRASS
6. BRG - BRONZE
7. BUC - BUENAVISTA CEMENT
8. BUD - BUDGET
9. CAL - CALIFORNIA
10. CAL - CALIFORNIA
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1. AFTER COMPLETION OF THE WORK DESCRIBED IN THESE SPECIFICATIONS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL INFORMATION AND DRAWINGS FOR WHICH THEY ARE USED BY THE CLIENT ON OTHER PROJECTS OR IN ANY MANNER NOT AUTHORIZED BY THE CLIENT OR BY THIS AGREEMENT.

DATA AND MEASUREMENTS

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL INFORMATION AND DRAWINGS FOR WHICH THEY ARE USED BY THE CLIENT ON OTHER PROJECTS OR IN ANY MANNER NOT AUTHORIZED BY THE CLIENT OR BY THIS AGREEMENT.

CLEAN UP AND START UP RESPONSIBILITIES

1. AFTER COMPLETION OF THE WORK DESCRIBED IN THESE SPECIFICATIONS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL INFORMATION AND DRAWINGS FOR WHICH THEY ARE USED BY THE CLIENT ON OTHER PROJECTS OR IN ANY MANNER NOT AUTHORIZED BY THE CLIENT OR BY THIS AGREEMENT.

HOURS OF CONSTRUCTION

1. THROUGH FRIDAY, 6:00 AM TO 6:00 PM, AND SATURDAYS 8:00 AM TO 6:00 PM, EXCLUDING FEDERAL HOLIDAYS PER 61.418.

MISC. EXTERIOR FINISH NOTES

1. ALL EXPOSED EXTERIOR WOOD TO BE CLEAN, REPAIR OR REPLACE. EXCEPTION: INTERIOR, EXTERIOR, OR ON ANTICORROSIVE SURFACES. ALL EXTERIOR FINISH TO BE PRESSURE TREATED. TREAT ALL CUT ENDS WITH COPPER NONAQUEOUS OR CO. ANTI FUNGAL.

SCOPE:
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL INFORMATION AND DRAWINGS FOR WHICH THEY ARE USED BY THE CLIENT ON OTHER PROJECTS OR IN ANY MANNER NOT AUTHORIZED BY THE CLIENT OR BY THIS AGREEMENT.

APPLICABLE LAWS, ORDINANCES, REGULATIONS AND STANDARDS
1. THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL CONFORM TO THE LATEST EDITIONS OF THE CALIFORNIA COMMERCIAL BUILDING CODE, CALIFORNIA ELECTRICAL CODE, CALIFORNIA MECHANICAL CODE AND ALL LOCAL ORDINANCES AND REGULATIONS APPLICABLE TO THE PROJECT.

SACRAMENTO COUNTY NOTES
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL INFORMATION AND DRAWINGS FOR WHICH THEY ARE USED BY THE CLIENT ON OTHER PROJECTS OR IN ANY MANNER NOT AUTHORIZED BY THE CLIENT OR BY THIS AGREEMENT.

PERMITS, LICENSES, INSPECTIONS AND FEES
1. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PLAN REVIEW, PERMIT, LICENSE AND INSPECTION FEES.

GUARANTEE
1. THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL GUARANTEE THAT ALL WORK SHALL BE ACCORDING TO THE SPECIFICATIONS AND DRAWINGS, AND SHALL BE FREE FROM DEFECTS FOR THE PERIOD OF TIME SPECIFIED IN THE CONTRACT.

REVISIONS
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL INFORMATION AND DRAWINGS FOR WHICH THEY ARE USED BY THE CLIENT ON OTHER PROJECTS OR IN ANY MANNER NOT AUTHORIZED BY THE CLIENT OR BY THIS AGREEMENT.

ABBREVIATIONS
1. HR - HURDLES
2. ADJ - ADJUSTMENTS
3. ALT - ALTIMETER
4. ALUM - ALUMINUM
5. BR - BRASS
6. BRG - BRONZE
7. BUC - BUENAVISTA CEMENT
8. BUD - BUDGET
9. CAL - CALIFORNIA
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GENERAL BUILDING NOTES
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SUBMITTAL SET

NO.	DATE	APPROVED
1		
2		
3		
4		
5		
6		

DATE: 01.08.2024
 JOB #: 23106
 DRAWN BY: DJ

SITE PLAN

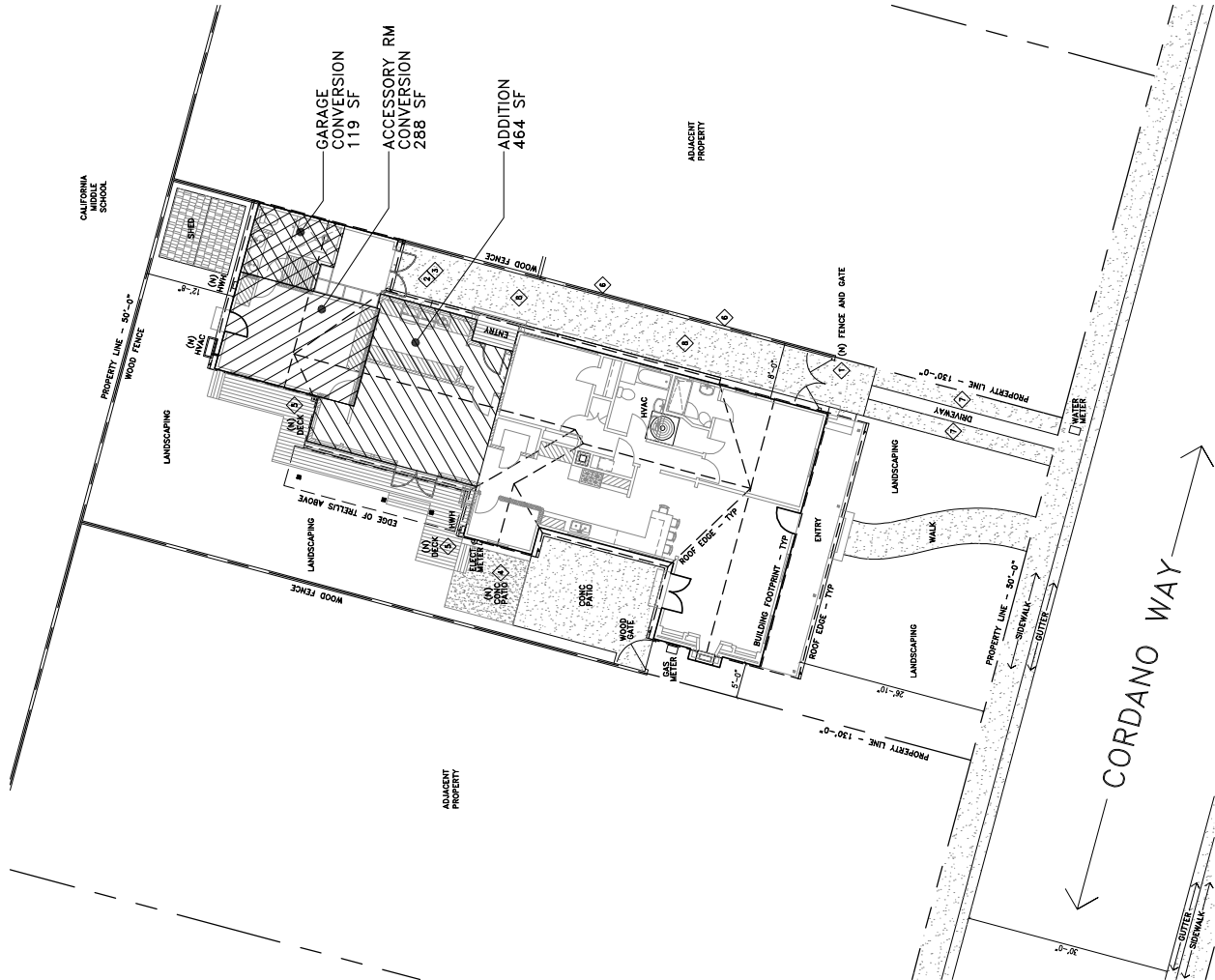
A1.1

- 1 NEW STEEL FRAME, WOOD FINISH GATE & FENCE. GATE CONTAINS STEEL FRAME AND WOOD FINISH. PROVIDE LOCATION & SIZE OF GATES WITH OWNER PRIOR TO INSTALLATION.
- 2 REPAIR OR REPLACE CONCRETE FLAT WORK AND/OR PLASTER AREAS AS REQUESTED BY THE OWNER.
- 3 NEW CONCRETE PATIO. SEE NEW FLOOR PLAN.
- 4 NEW DECK. SEE NEW FLOOR PLAN.
- 5 LOCUS STAIRS. SEE WOOD FENCE TO NEW GATE.
- 6 REPLACE CONCRETE BRICKWAY STEPS, DEMOLISH & REPLACE EXISTING CONCRETE BRICKWAY STEPS. POUR NEW CONCRETE BRICKWAY STEPS. PROVIDE LOCATION & SIZE OF GATES WITH OWNER PRIOR TO SETTING FORMS OR ORDERING MATERIALS. PROVIDE ALTERNATIVE OPTIONS TO USER AND/OR ARCHITECT WITH THE CLIENT PRIOR TO SETTING FORMS OR ORDERING MATERIALS. PROVIDE THIS SCOPE OF WORK FOR A FUTURE PHASE.
- 7 ON SITE CONCRETE WORK. PROVIDE LOCATION & SIZE OF ALL CONCRETE WORK. PROVIDE MATERIALS, OPTIONS, COLORS WITH THE CLIENT PRIOR TO STARTING DEMOLITION. CONSIDER LEAVING PLASTER WORK FOR A FUTURE PHASE.

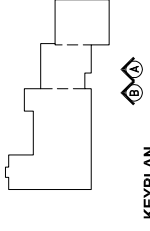
KEYNOTES

- 1) SEE DECK & NEW FLOOR & ROOF PLANS FOR ADDITIONAL INFORMATION.
- 2) SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 3) PROVIDE PROPER SURFACE DRAINAGE AWAY FROM HOUSE.
- 4) PROVIDE PROPER SURFACE DRAINAGE AWAY FROM STREET.

GENERAL NOTES



A SITE PLAN
1/8" = 1'-0"

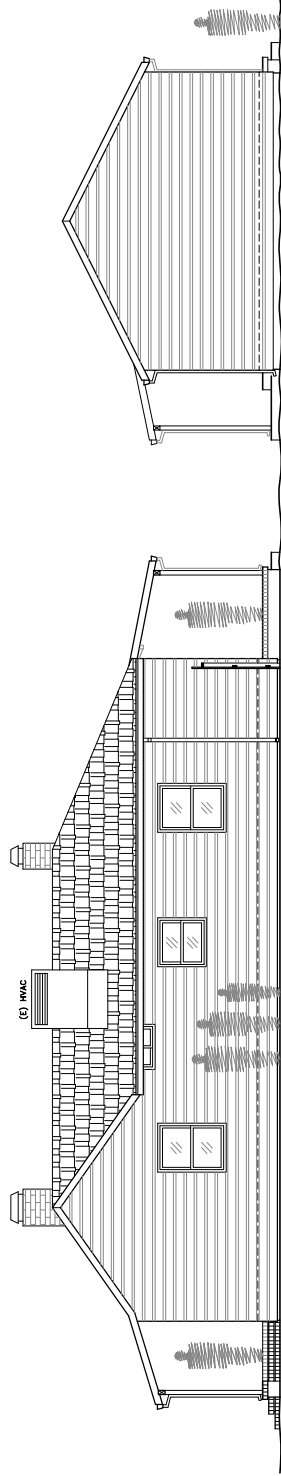


- 1) HORIZONTAL LAP SIDING, MATCH EXISTING.
- 2) SKYLIGHT, SEE ROOF PLAN.
- 3) NEW RAIN GUTTER, SEE ROOF PLAN.
- 4) NEW DOWNSPOUT, SEE ROOF PLAN.
- 5) NEW GATE, SEE SITE PLAN.
- 6) COMPOSITION ROOF SHINGLES, SEE ROOF PLAN.
- 7) ENTRY STEPS, SEE FLOOR PLAN.

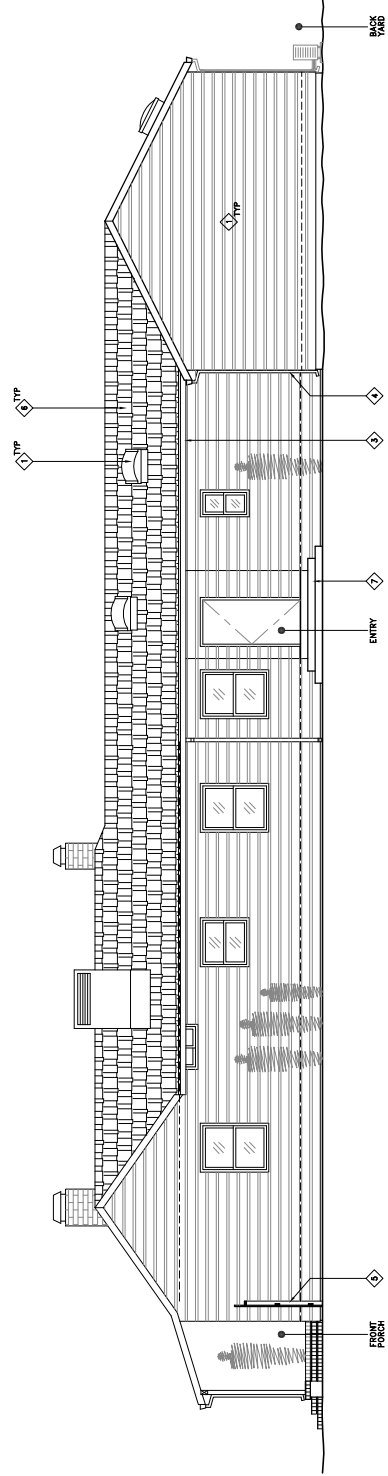
KEYNOTES

- 1) SEE FLOOR & ROOF PLANS FOR ADDITIONAL INFORMATION.
- 2) SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.

GENERAL NOTES

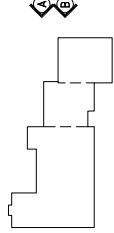


B EXISTING EXTERIOR ELEVATION - EAST



A NEW EXTERIOR ELEVATION - EAST

SUBMITTAL SET



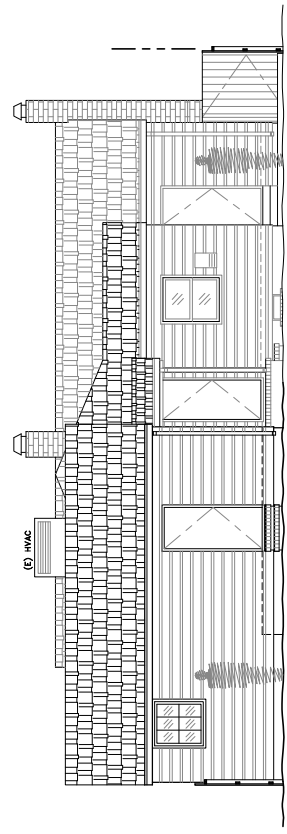
KEYPLAN

- 1) HORIZONTAL LAP SHINGS, MATCH EXISTING.
- 2) SKYLIGHT, SEE ROOF PLAN.
- 3) NEW BANI GUTTER, SEE ROOF PLAN.
- 4) NEW DOWNSPOUT, SEE ROOF PLAN.
- 5) EXISTING GATE OR FENCE, SEE SITE PLAN.
- 6) COMPOSITION ROOF SHINGLES, SEE ROOF PLAN.
- 7) NEW DECK, SEE FLOOR PLAN.
- 8) SCUPPER, SEE ROOF PLAN.
- 9) WOOD POST, SEE FLOOR PLAN & STRUCTURAL DRAWINGS.
- 10) WOOD TRUSS, SEE ROOF PLAN & STRUCTURAL DRAWINGS.
- 11) EXISTING HOT WATER HEATER, SEE FLOOR PLAN.
- 12) NEW HVAC, SEE FLOOR PLAN.

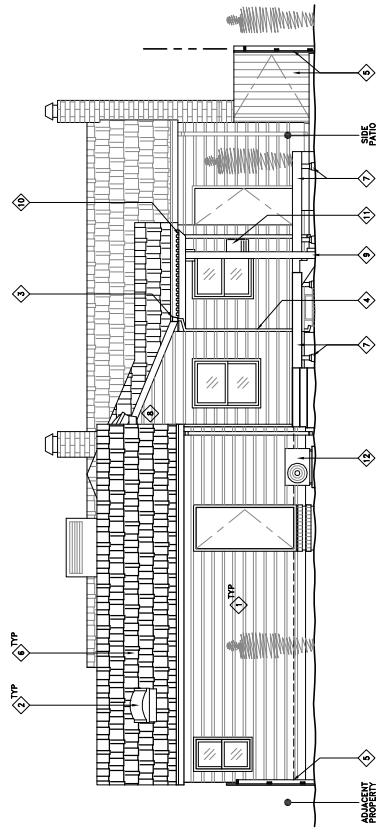
KEYNOTES

- 1) SEE FLOOR & ROOF PLANS FOR ADDITIONAL INFORMATION.
- 2) SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.

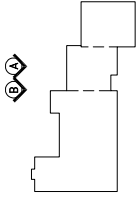
GENERAL NOTES



B EXISTING EXTERIOR ELEVATION - NORTH
1/8" = 1'-0"



A NEW EXTERIOR ELEVATION - NORTH
1/8" = 1'-0"



KEYPLAN

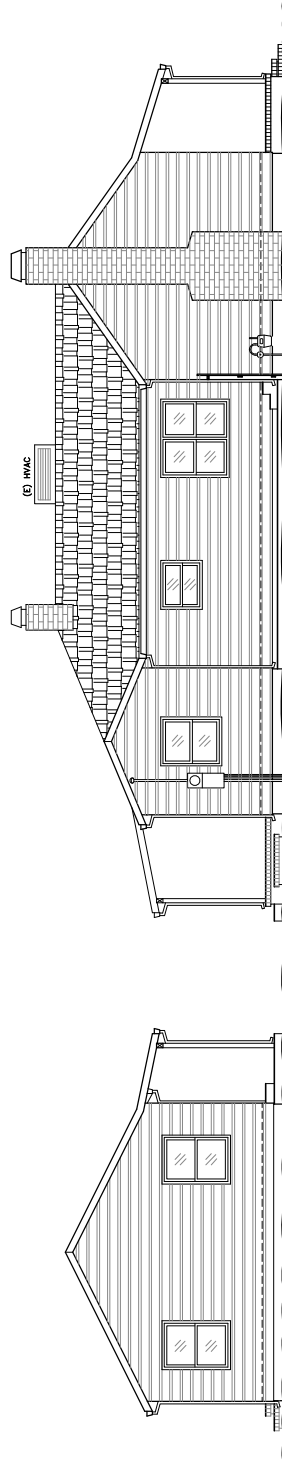
- 1 HORIZONTAL LAP SIDING, MATCH EXISTING.
- 2 BOUTIQUE, SEE ROOF PLAN.
- 3 NEW RAIN GUTTER, SEE ROOF PLAN.
- 4 NEW DOWNSPOUT, SEE ROOF PLAN.
- 5 EXISTING GATE ON FENCE, SEE SITE PLAN.
- 6 COMPOSITION ROOF SHINGLES, SEE ROOF PLAN.
- 7 NEW DECK, SEE FLOOR PLAN.
- 8 SCOPPER, SEE ROOF PLAN.
- 9 WOOD POST, SEE FLOOR PLAN & STRUCTURAL DRAWINGS.
- 10 WOOD TRUSS, SEE ROOF PLAN & STRUCTURAL DRAWINGS.
- 11 GAS METER, SEE SITE & FLOOR PLANS.
- 12 ELECTRICAL METER, SEE SITE & FLOOR PLANS.
- 13 NEW HWAC, SEE FLOOR PLAN.

KEYNOTES

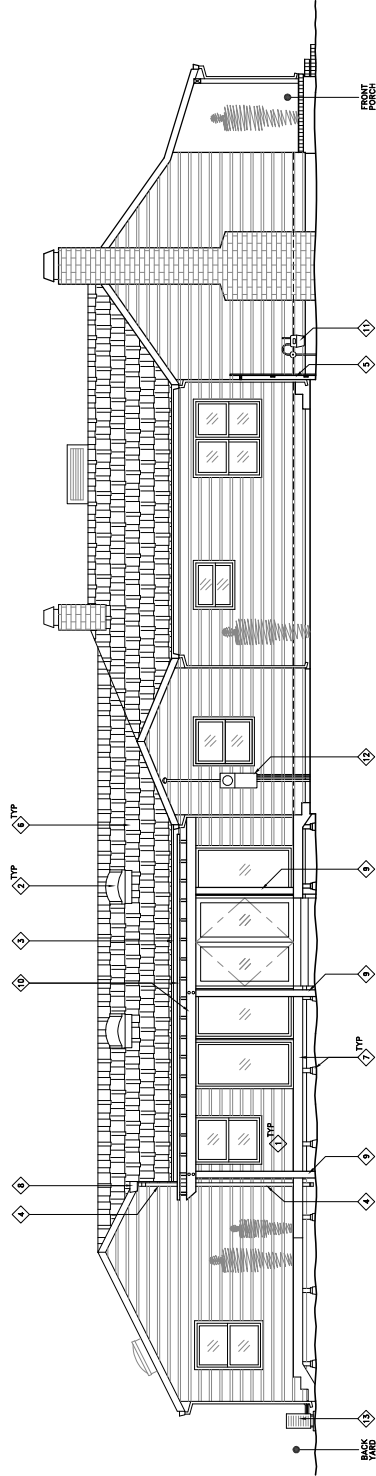
- 1) SEE FLOOR & ROOF PLANS FOR ADDITIONAL INFORMATION.
- 2) SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.

GENERAL NOTES

B EXISTING EXTERIOR ELEVATION - WEST



A NEW EXTERIOR ELEVATION - WEST



BREEZEWAY ENCLOSURE & REMODEL
1617 CORDANO WAY
SACRAMENTO, CA. 95818

SUBMITTAL SET

DATE: 01.08.2024
JOB #: 23106
DRAWN BY: DJ

EXTERIOR ELEVATIONS - WEST

A5.3

DJ Feese
building design &
drafting services
916.960.6592
djfeese@gmail.com