

**CITY OF SACRAMENTO
COMMUNITY DEVELOPMENT DEPARTMENT
DIRECTOR HEARING
300 Richards Blvd, 3rd Floor, Sacramento, CA
95811**

STAFF RECOMMENDATION

Staff recommends the Design Director approve, with conditions, a deviation for rear and interior yard setbacks and the Site Plan and Design Review to enclosed and condition and existing detached garage project known as file **DR24-210**. Draft Findings of Fact and Conditions of Approval for the project are included below.

REQUESTED ENTITLEMENTS

1. **Environmental Determination** is exempt from the provisions of the California Environmental Quality Act (CEQA) under Class 1, Section Number 15301, Existing Facilities.
2. **Site Plan and Design Review** to enclose and condition an existing detached garage located on a 0.15-acre lot in the Residential Zone (R-1) Zone, within City Wide Design Review District.

PROJECT INFORMATION

Location: 1617 Cordano Way, Sacramento, Ca 95818
District: 7, Represented by Caity Maple
Assessor's Parcel Number: 012-0251-007-0000
Applicant: Serup Sarita & Yogesh/Bjarni
1617 Cordano Way, Sacramento, Ca, 95818
Property Owner: Serup Sarita & Yogesh/Bjarni
1617 Cordano Way, Sacramento, Ca, 95818
Project Planner: Whitney Johnson, Assistant Planner, (916) 808-8947

Land Use Information

General Plan Designation: Neighborhood
Community Plan Area: Land Park
Zoning: Single-Unit Dwelling or Duplex Dwelling Zone (R-1)
Design Review Area: Citywide SPDR
Existing Land Use of Site: Single Family Residence

Surrounding Zoning and Land Use:

| | | |
|--------|-------|----------------------|
| North: | (R-1) | Middle School |
| South: | (R-1) | Single-unit Dwelling |
| East: | (R-1) | Single-unit Dwelling |
| West: | (R-1) | Single-unit Dwelling |

Site Information:

| | |
|-------------------------------|--|
| Existing Property Dimensions: | 50.6' wide x 132' deep; Approx. 0.15 acres |
| Topography: | Flat |
| Street Improvements: | None |
| Utilities: | Existing |

Setback Information:

| | Required: | Proposed: |
|---------------------------|-----------|-------------------|
| Interior side-yard (East) | 5' - 0" | 0'-0" (existing) |
| Rear yard (North) | 15'-0" | 12'-8" (existing) |

Project Analysis:

The project site consists of an existing single-family residence located at 1617 Cordano Way. The applicant is proposing to connect the existing garage and accessory structure with the main residence by enclosing and conditioning the space between the structures. The proposal also calls for a new deck along the west side of the property.

The proposed remodel/addition will reuse the existing materials where applicable. The new materials will match that of the existing and include, composition shingles, Redwood or Cedar milled siding, wood grided windows and French doors and composite decking.

The existing side-yard setback of the existing garage and accessory structure is 0'-0", which does not meet Sacramento City Code (SCC) 17.204.240(B) minimum requirements for interior side-yard setbacks:

- 1. Unless paragraph 2 or 3 of this subsection applies, the minimum interior side-yard setback is five feet.*
- 2. A minimum interior side-yard setback of three feet applies to interior lots having a width of less than 52 feet and corner lots having a width of less than 62 feet*

The existing rear yard setback of the existing garage and accessory structure is 12'-8" which does not meet the Sacramento City Code (SCC) 17.204.240(D) minimum requirements for rear yard setbacks:

- 1. Unless paragraph 2 of this subsection applies, the minimum rear-yard setback is 15 feet.*
- 2. If the rear lot line abuts a public alley, the minimum rear-yard setback is five*

feet.

The applicant is requesting a deviation through a public hearing to allow the reuse of the existing non-conforming garage and accessory structure to be remodeled within the rear yard and side-yard setback. The reasons given for requesting this deviation include:

- The reuse of the existing structures reduces the environmental impact of the remodel and allows for the reuse of existing materials
- Several neighbors on the block have similar existing rear yard structures shown with in the required rear yard and side yard setback

Staff supports the deviation and finds that the project is consistent with the purpose and intent of applicable design guidelines and development standards in that: 1) The proposed non-conforming structures rear yard setback already exists at the 12"-8"; 2) the proposed side encroachment does not significantly impact the neighbor to the east; since it is an existing non-conforming condition and 3), the encroachment does not negatively impact the established assemblage of homes on the block and complements them through the use of an established accessory structure found throughout the neighborhood. Furthermore, the repurposed garage and expansion of the home maintains the single story design aesthetic and materiality and does not visually impact the adjacent neighbor.

Public Comments:

Property owners, tenants, and neighborhood groups within 500 feet of the subject site received notification of the public hearing occurring on Thursday, December 19th, 2024. Neighborhood associations that were notified for the hearing include Land Park Community Association, Sacramento Riverfront Association, Preservation Sacramento Staff has not received any correspondence from the public regarding this project as of the drafting of this report.

Environmental Considerations:

The project is also determined to be is exempt from the provisions of the California Environmental Quality Act (CEQA) under Class 1, Section Number 15301, Existing Faculties.

200-Year Flood Protection:

State Law (SB 5) and Planning and Development Code chapter 17.810 require that the City must make specific findings prior to approving certain entitlements for projects within a flood hazard zone. The purpose is to ensure that new development will have protection from a 200-year flood event or will achieve that protection by 2025. The project site is within an area for which the local flood-management agency has made adequate progress (as defined in California Government Code section 65007) on the construction of a flood-protection system that, for the area intended to be protected by the system, will result in

flood protection equal to or greater than the urban level of flood protection in urban areas for property located within a flood-hazard zone, as demonstrated by the SAFCA Urban Level of Flood Protection Plan and Adequate Progress Baseline Report and the SAFCA Adequate Progress Toward an Urban Level of Flood Protection Engineer's Report, each accepted by the City Council on June 21, 2016 (Resolution No. 2016-0226), and the SAFCA 2023 Adequate Progress Annual Report accepted by the City Council on October 24, 2023 (Resolution No. 2023-0337).

Draft Findings of Fact:

Site Plan and Design Review:

1. The design, layout, and physical characteristics of the proposed development are consistent with the general plan and any applicable specific plan or transit village plan in that the proposal adheres to the goals and policies of the general plan land use designation of Neighborhood.
2. The design, layout, and physical characteristics of proposed development are consistent with all applicable design guidelines and with all applicable development standards for the R-1 zone and the architectural design standards for the citywide design guidelines with exception of the existing non-conforming rear yard and side-yard setback.
3. All streets and other public access ways and facilities, parking facilities, and utility infrastructure are adequate to serve the proposed development and comply with all applicable design guidelines and development standards.
4. The design, layout, and physical characteristics of the proposed development are visually and functionally compatible with the surrounding neighborhood in that the exterior design and massing of the project are compatible with the design of the adjacent residential buildings.
5. The design, layout, and physical characteristics of the proposed development ensure energy consumption is minimized and use of renewable energy sources is encouraged.
6. The design, layout, and physical characteristics of the proposed development are not detrimental to the public health, safety, convenience, or welfare of persons residing, working, visiting, or recreating in the surrounding neighborhood and will not result in the creation of a nuisance and will not be a detriment to the neighborhood.
7. The project site is within an area for which the local flood-management agency has made adequate progress (as defined in California Government Code section 65007) on the construction of a flood-protection system that, for the area intended to be protected by the system, will result in flood protection equal to or greater than the urban level of flood protection in urban areas for property located within a flood-hazard zone, as demonstrated by the SAFCA Urban Level

of Flood Protection Plan and Adequate Progress Baseline Report and the SAFCA Adequate Progress Toward an Urban Level of Flood Protection Engineer's Report, each accepted by the City Council on June 21, 2016 (Resolution No. 2016-0226), and the SAFCA 2024 Adequate Progress Annual Report accepted by the City Council on October 22, 2024 (Resolution No. 2024-0311).

DRAFT CONDITIONS OF APPROVAL:

Planning / Design Review

1. The remodel and addition shall be constructed per approved plans and conditions of approval.
2. Provide the following building materials for the remodel and addition as indicated per approved plans.
 - a. Dimensional composition shingle roof, match existing
 - b. Horizontal Redwood or Cedar milled siding, match existing
 - c. Single/double hung and fixed dual pane wood grided windows with painted decorative wood trim and sill
 - d. Rustic Knotty Adler solid wood front door, painted to match existing
 - e. Wood or composite glazed French doors with sidelites at west elevation
 - f. Composite deck planking with new wood trellis, to match existing

General

3. Any new HVAC units shall be attic or ground mounted and shall be screened from street view. No new roof mounted or wall mounted HVAC units are allowed.
4. Trash receptacles and irrigation controls shall be screened from street view.
5. The applicant shall obtain all necessary building permits prior to commencing construction. No permits shall be issued within the 10-day appeal period.
6. All other notes and drawings on the final plans as submitted by the applicant are deemed conditions of approval. Any work that differs from the final set of plans approved by the Planning staff shall be subject to review and approval prior to issuance of a building permit or work undertaken.
7. Any modification to the project shall be subject to the review and approval of planning staff (and may require additional entitlements).

8. This approval shall expire in three (3) years from the approval date.

SMUD

9. SMUD has existing overhead 21kV and low voltage/secondary facilities along the north side of the property that will need to remain. The Applicant shall be responsible for maintaining all CalOSHA and State of California Public Utilities Commission General Order No. 95 safety clearances during construction and upon building completion. If the required clearances cannot be maintained, the Applicant shall be responsible for the cost of relocation.
10. Structural setbacks less than 14-feet shall require the Applicant to conduct a pre-engineering meeting with all utilities to ensure property clearances are maintained.
11. Any necessary future SMUD facilities located on the Applicant's property shall require a dedicated SMUD easement. This will be determined prior to SMUD performing work on the Applicant's property.
12. In the event the Applicant requires the relocation or removal of existing SMUD facilities on or adjacent to the subject property, the Applicant shall coordinate with SMUD. The Applicant shall be responsible for the cost of relocation or removal.
13. SMUD reserves the right to use any portion of its easements on or adjacent to the subject property that it reasonably needs and shall not be responsible for any damages to the developed property within said easement that unreasonably interferes with those needs.
14. The Applicant shall not place any building foundations within 5-feet of any SMUD trench to maintain adequate trench integrity. The Applicant shall verify specific clearance requirements for other utilities (e.g., Gas, Telephone, etc.).
15. The Applicant shall comply with SMUD siting requirements (e.g., panel size/location, clearances from SMUD equipment, transformer location, service conductors). Information regarding SMUD siting requirements can be found at: <https://www.smud.org/en/Business-Solutions-and-Rebates/Design-and-Construction-Services>.

Advisory Notes

- ADV.1. Trees on adjacent parcels - While not required by city code for unprotected trees, the applicant has an obligation to protect trees owned by others on adjacent properties and should obtain permission to perform any work such as pruning or excavation within the dripline of such tree. Case law in California requires that reasonable care be taken to protect trees owned by others.

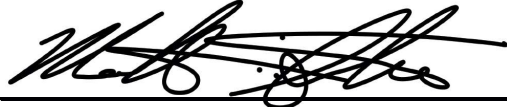
ADV.2. A 1-hour rated wall is required on the East side where the fire separation distance is less than 5'.

ATTACHMENTS:

Exhibit A: Site Plan, Floor Plan, Elevations.

Whitney Johnson

Whitney Johnson
Assistant Planner



Matthew Sites, AIA, LEED AP
Senior Architect

DEMOLITION REQUEST PRESERVATION REVIEW (DRPR)

SECTION 1: To be completed by Planning Staff.

- Yes No **The project proposes demolition of 50-percent or more of building footprint, or 50-linear feet or more of exterior wall?**
If checked NO, No DRPR or Demolition I&R Form required.
If checked YES, proceed to Section 2 below.

SECTION 2: To be completed by Planning Staff.

- Yes No **The project proposes only demolition and is not part of a development proposal.**
If checked NO, proceed to Section 3 below.
If checked YES, No DRPR required. Complete Demolition I&R ([Form CDD-0113](#)).

SECTION 3: To be Completed by Planning Staff. Attach color photos. Large format printed or digital preferred.

Project Information

Date of Pre-Application Meeting: _____
 Date Application Submitted: 9/19/24
 Date Application Deemed Complete: IP
 Application Number: DR24-210
 Address: 1617 Cordano Way, Sacramento, CA 95818
 Assigned Planner: W. Johnson
 Planner Phone Extension: 8947

Type of Structure:

- Accessory
 Residential (1 or 2 units)
 Commercial (3+ units, or other commercial/industrial)
 Other (bridge, water tower, etc.) Description: _____

Scope of Work

- Demolition and New Construction
 Demolition of ACCESSORY STRUCTURE ONLY and New Construction
 Residential Addition
 Commercial Addition (3+ units, or other commercial/industrial)
 Other Description: _____

PAGE 2 TO BE COMPLETED BY THE PRESERVATION DIRECTOR

HISTORIC RESOURCE PRELIMINARY EVALUATION

SECTION 4: To be completed by the Preservation Director.

- Project is part of a discretionary development proposal such as a SPDR Entitlement:** Attach completed DRPR to Record of Decision. Refer to Section 5 below.
- Project is part of a ministerial review, such as an ADU I&R:** Route to Preservation Director prior to completing Record of Decision. Attach completed DRPR to Record of Decision. Refer to Section 5 below.
- The 45-day review period has expired, and the property is deemed not eligible for listing in the Sacramento Register:** Attach completed DRPR to Record of Decision.

SECTION 5: Preservation Director determination or request for information.

- PROPOSED WORK COMPLIES WITH HISTORIC STANDARDS:** Therefore, whether the property includes a historical resource, there would not be a significant impact on any historical resources for CEQA purposes.
- NOT ELIGIBLE:** The Preservation Director has made a preliminary determination that the structure is NOT ELIGIBLE as a historical resource for CEQA purposes, nor for listing in the Sacramento Register (Preliminary Determination expires in 3 years)
- ELIGIBLE:** The Preservation Director has made a preliminary determination that the structure IS ELIGIBLE as a historical resource for CEQA purposes and may be eligible as a historic resource for listing in the Sacramento Register. **Project requires evaluation for compliance with historic standards or for possible impacts to historical resource and additional environmental review.**
- ADDITIONAL RESEARCH NEEDED:** The Preservation Director has determined that additional research and evaluation on the history and potential significance of the structure is required in order to make a preliminary determination, and:
 - \$500 research fee required (may be a deposit); or
 - Applicant will hire qualified historical consultant to research and evaluate the property.
- REQUEST MEETING WITH APPLICANT:** The Preservation Director has questions about the property, the photos provided, or the project and would like to meet with the applicant to discuss the project, its potential compliance with the historic standards, or to determine if an eligibility determination is warranted.

Notes:

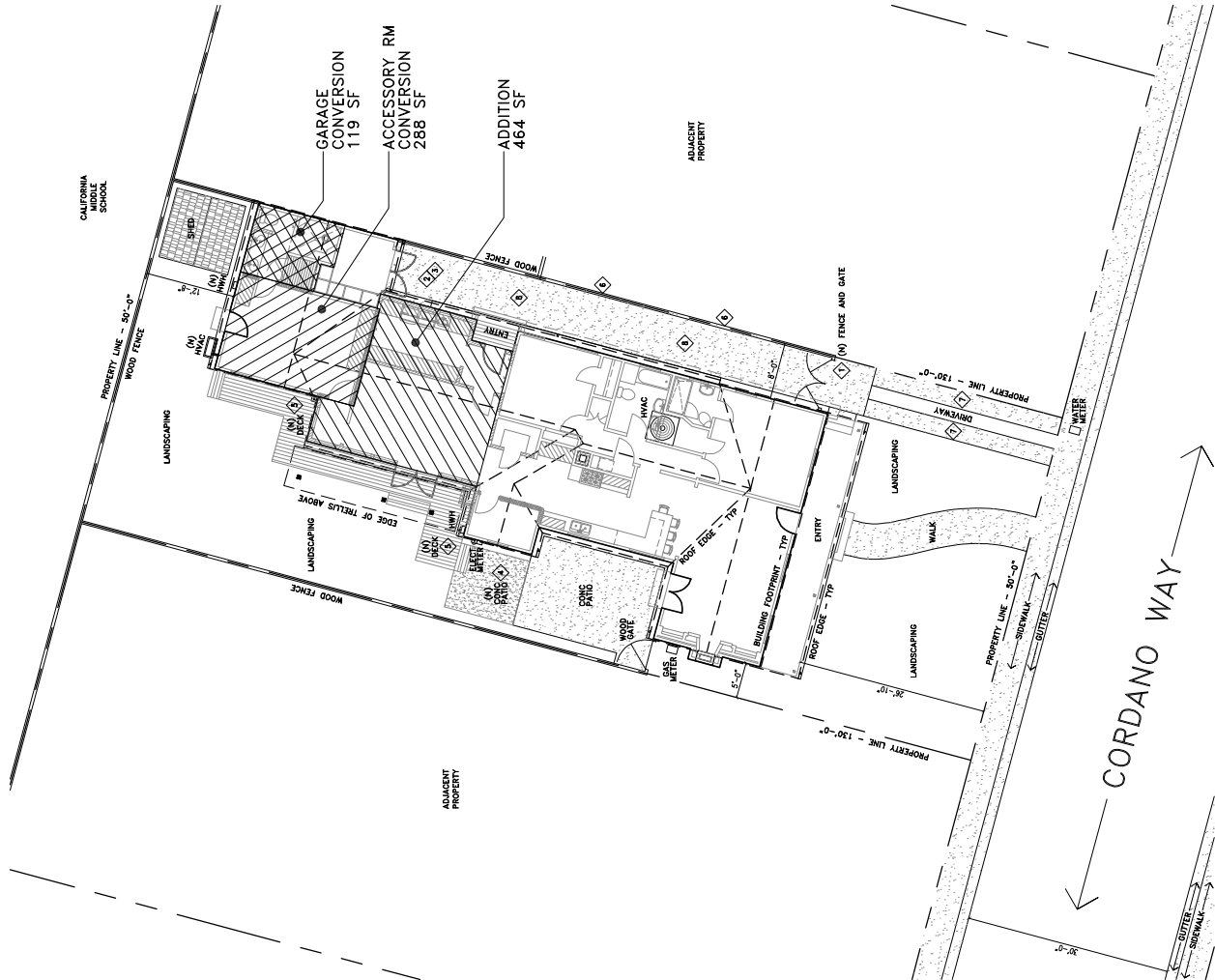
Preservation Director's Signature: _____ **Date:** 9/25/2024

- 1 NEW STEEL FRAME, WOOD FINISH GATE & FENCE. GATE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LOCATION & SIZE OF GATES WITH OWNER PRIOR TO INSTALLATION.
- 2 REPAIR OR REPLACE CONCRETE FLAT WORK AND/OR PLASTER AREAS AS REQUESTED BY THE OWNER.
- 3 NEW CONCRETE PATIO. SEE NEW FLOOR PLAN.
- 4 NEW DECK. SEE NEW FLOOR PLAN.
- 5 REMOVE EXISTING 4" WOOD FENCE TO NEW GATE LOCATION.
- 6 REPLACE CONCRETE BRICKWAY STEPS, DEMOLISH & REPLACE EXISTING CONCRETE BRICKWAY STEPS. POUR NEW CONCRETE BRICKWAY STEPS TO MATCH EXISTING. VERIFY WITH THE CLIENT ALTERNATE OPTIONS TO USE ALTERNATE MATERIALS. PRIOR TO SETTING FORMS OR ORDERING MATERIALS, VERIFY WITH THE CLIENT THE SCOPE OF WORK FOR A FUTURE PHASE.
- 7 VERIFY THE EXISTING CONCRETE BRICKWAY. REMOVE MATERIALS. VERIFY ACCESS WITH THE CLIENT PRIOR TO STARTING DEMOLITION. CONSIDER LEAVING PLASTER IN PLACE WHERE APPROPRIATE TO SAVE THE SCOPE OF WORK FOR A FUTURE PHASE.

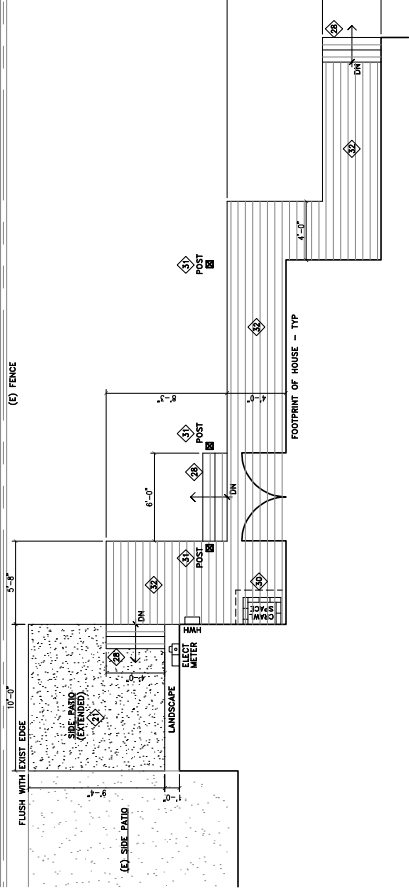
KEYNOTES

- 1) SEE DECK & NEW FLOOR & ROOF PLANS FOR ADDITIONAL INFORMATION.
- 2) SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 3) PROVIDE PROPER SURFACE DRAINAGE AWAY FROM HOUSE.
- 4) VERIFY WITH THE CLIENT THE SCOPE OF WORK FOR A FUTURE PHASE.

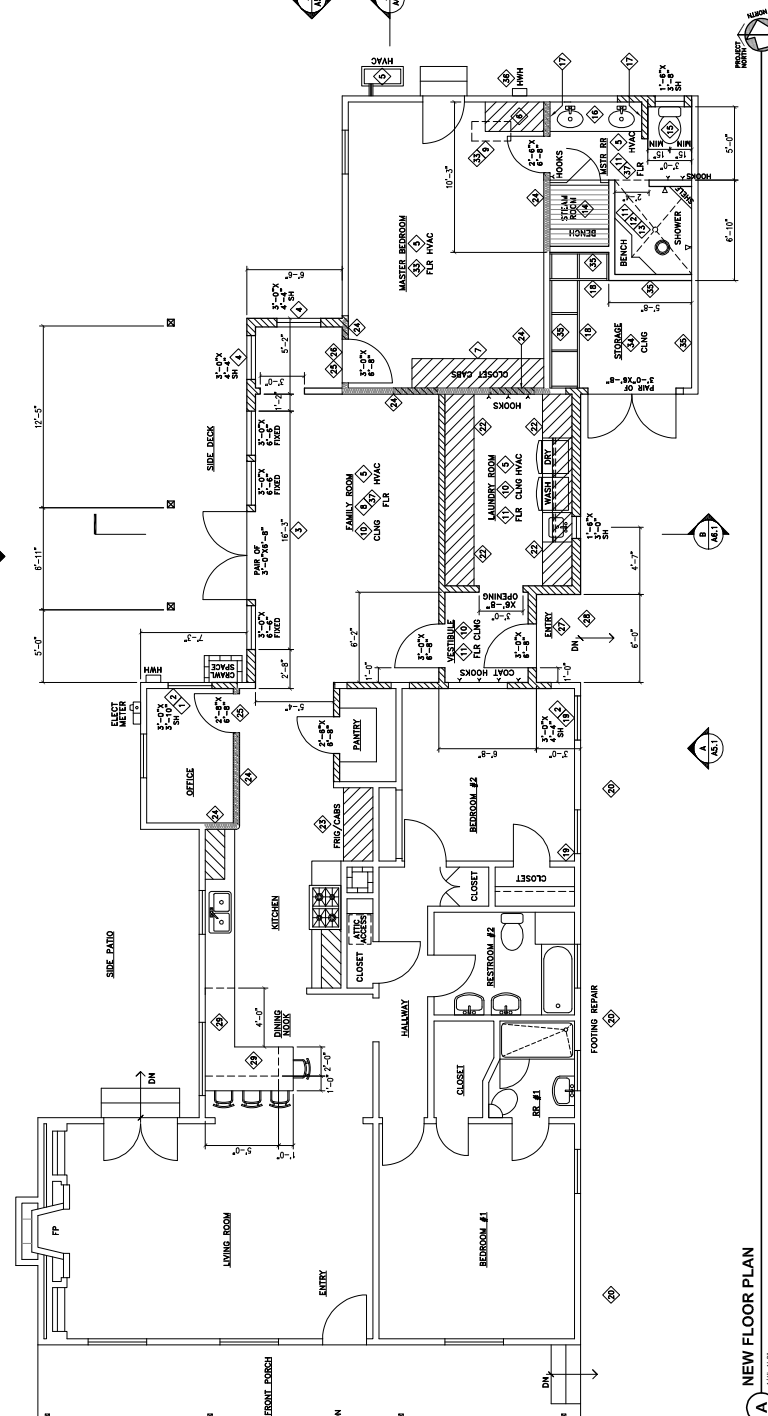
GENERAL NOTES



A SITE PLAN
 1/8" = 1'-0"



NEW DECK PLAN
1819-1202



NEW FLOOR PLAN
1819-1202

- 1) SEE REMEDIATION DRAWINGS FOR ADDITIONAL INFORMATION.
- 2) SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 3) WINDOW/GLAZING - ALL WINDOWS TO CONFORM TO TITLE-24 REQUIREMENTS. SEE MANUFACTURER'S INSTRUCTIONS FOR WINDOW/GLAZING. ALL WINDOWS WITH OWNER TO PROVIDE PRIOR TO ORDERING WINDOW PACKAGE. MANUFACTURER, STYLE & WINDOW TO BE SELECTED BY THE OWNER PRIOR TO ORDERING WINDOW PACKAGE.
- 4) NEW WOOD FRAMED WALLS:
 - 1-19 INT INSULATION
 - INTERIOR WALLS TO BE 2X4 @16"OC.
 - EXTERIOR WALLS TO BE 2X6 @16"OC. WITH

GENERAL NOTES

- 1) CENTER WINDOW TO EXTERIOR WALL.
- 2) FINISH THE EXISTING WINDOW TO REMAIN IN THE SAME ROOM. MATCH THE EXISTING WINDOW TO REMAIN IN THE SAME ROOM.
- 3) CONTRACTOR TO FIELD VERIFY BUSH OPENING REQUIREMENTS. WINDOW/DOOR SYSTEM TO INCLUDE 3 WINDOW PANELS AND 2 WINDOW SASHES TO BE SHOWN WITH 4" TO 5" FRAMED JAMB BETWEEN AS SHOWN.
- 4) FIELD VERIFY DIMENSIONS, WINDOW SIZE AND STYLE TO MATCH THE ADJACENT EXISTING WINDOW IN THE MASTER BEDROOM.
- 5) NEW HWH, SEE POWER & UTILITY PLAN.
- 6) 2X4 FULL HEIGHT MODULAR CABINET, STYLE, GRADE & FINISH AS SELECTED BY THE OWNER.

KEYNOTES

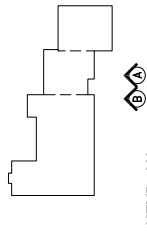
- 1) PATCH FULL HEIGHT, MATCHES EXISTING SINGLE CABINET, STYLE, GRADE & COLOR AS SELECTED BY THE OWNER.
- 2) PROVIDE HARD WOOD FLOORING, FINISH TO MATCH MASTER BEDROOM. SEE MASTER BEDROOM FLOOR FINISHING NOTE.
- 3) PATCH FLOORING TO COVER OVER EXISTING FLOOR GRADE. PROVIDE PATCH WORK TO MATCH EXISTING FLOOR FINISHING NOTE. STAGER SEAMS TO CONCEAL. FINISH TO MATCH EXISTING DRAWINGS.
- 4) CEILING TO BE ACCENTRIC WOOD PANELS, STYLE, SIZE & FINISH AS SELECTED BY THE OWNER.
- 5) CEILING LIGHT FIXTURES TO BE 4" DIA. IN SQUARE DASH AND SILENT AS SHOWN.
- 6) 2 RECESSED WALL CURBIES, DIMENSIONS AS DECDED BY THE OWNER.
- 7) SHOWER - WALK IN, ZERO CLEARANCE NO CURB, INCLUDING SHOWER CURB. SEE CURB DETAIL. DIMENSIONS AS DECDED BY THE OWNER.
- 8) SHOWER NOZZLE/CONTROLS - 2 WALL MOUNTED ADJUSTABLE SHOWER HEADS, EACH WITH 25' WATER SPRAY AND ONE CLED BY THE OWNER PRIOR TO ROUGH IN. STYLE & FINISH AS SELECTED BY THE OWNER.
- 9) SHOWER PARTIAL PARTIAL - 2 WALL MOUNTED ADJUSTABLE SHOWER HEADS, EACH WITH 25' WATER SPRAY AND ONE CLED BY THE OWNER PRIOR TO ROUGH IN. STYLE & FINISH AS SELECTED BY THE OWNER.
- 10) WALL MOUNTED TUBLET, MANUFACTURER & STYLE AS SELECTED BY THE OWNER.
- 11) 2X4 FULL HEIGHT CABINET WITH 15" SHOWN. TOP WITH 15" CABINET & FINISH AS SELECTED BY THE OWNER. PRIOR TO ROUGH IN. TO BE DETERMINED BY THE OWNER.
- 12) PROVIDE RECESSED MIRRORED MEDICINE CABINETS EACH SIDE OF THE CLOSET. SEE MEDICINE CABINET DRAWING. FINISH AS SELECTED BY OWNER PRIOR TO FINISHING IN CLOSET.
- 13) BACK STORAGE SHELVES - 2X4 WOOD FRAME WITH 1/2" DIA. PLYWOOD SUPPORTED ON ALL SIDES AND 2"-0" OC IN CLOSET. FINISH TO MATCH FINISH OF ADJACENT ROOM.
- 14) LOCKET WINDOW MATCH REVEAL OF EXISTING WINDOW TO ADJACENT WALL FROM INSIDE OF ROOM.
- 15) FOOTING REPAIR/RETROFIT ALONG THIS WALL, SEE STRUCTURAL DRAWINGS.
- 16) PROVIDE CONCRETE PAVO SLAB, FINISH TO THE TOP AND MATCH FINISH & COLOR OF EXISTING PAVO.
- 17) LAUNDRY ROOM, SEE INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.
- 18) REFRIGERATOR - 2700 MODULAR CABINET STYLE AS SELECTED BY THE OWNER. HANGING IN MATCHING TALL CABINET. PROVIDE EXTRA ROOM TO THE SIDES OF REFRIGERATOR.
- 19) PROVIDE ACOUSTIC BATT INSULATION, FULL CAVITY FILL IN REFRIGERATOR TO REDUCE VIBRATION. PROVIDE SOUND BARRIER & ALL ADJACENT ROOM AS SHOWN. AND MASTER BEDROOM & BEDROOM DOOR.
- 20) PROVIDE ACOUSTIC INSULATED DOOR & FULL SEAL COMPARTMENT WITH SOUND DAMPING FLOOR ABOUT AT BEDROOM DOOR.
- 21) THE EXISTING FLOOR LEVEL OF THE FAMILY ROOM (EXISTING LEVEL OF WALKER BEDROOM TRANSITION BETWEEN FLOOR LEVELS TO BE MADE AT THE MASTER BEDROOM DOOR. PROVIDE CONCRETE PAVO SLAB, FINISH TO MATCH FINISH OF THIS LOCATION.
- 22) LANDING, COMPOSITE DECK PLANK & FRAMING TO MATCH BACK PORCH DECK.
- 23) FIELD VERIFY HEIGHT DIFFERENTIAL BETWEEN FLOOR LEVEL NUMBER OF STEPS AS REQUIRED, 7.5" MAX RISE & 10" MAX RUN. PROVIDE RAMP TO MATCH FINISH OF ADJACENT ROOM AS NECESSARY.
- 24) KITCHEN PENINSULA - 27" APPROXIMATELY 8' LINEAL LENGTH OF MODULAR KITCHEN CABINETS & COUNTER TOP WITH 1 1/2" DIA. SPACE ACCESS - CONSTRUCT AN EASYLY REMOVABLE PANEL FRAMED IN FLUSH WITH THE DECK IN ORDER TO ALLOW ACCESS TO THE UNDER SPACE.
- 25) WOOD POST, SEE STRUCTURAL DRAWINGS.
- 26) COMPOSITE DECK AND STEPS, COLOR & STYLE TO BE DETERMINED BY THE OWNER. PROVIDE 2" DIA. RING AND FINISH TO MATCH MASTER HOUSE AND NEW FAMILY ROOM.
- 27) PROVIDE PLYWOOD ON TOP SIDE OF BOTTOM TRUSS CHORDS FOR LIGHT WEIGHT STORAGE. LOCATIONS TO BE DETERMINED BY THE OWNER.
- 28) PROVIDE INTERIOR GYPSUM BOARD ON EXTERIOR WALLS BEHIND ROOM WALLS. PROVIDE COST EFFECTIVE OPTIONS WITH THE OWNER PRIOR TO ORDERING MATERIALS.
- 29) NEW HWH, SEE POWER & UTILITY PLAN.
- 30) FLOOR HEATING SYSTEM AND ALTERNATE LOCATED AT NEW FLOOR FINISHING. PROVIDE OPTIONS & COSTS PRIOR TO ORDERING MATERIALS OR PREPARING FLOOR.

KEYNOTES - CONTINUED

**BREEZEWAY ENCLOSURE
& REMODEL**

SUBMITTAL SET

| | | | | |
|---|---|---|---|---|
| 1 | 1 | 1 | 1 | 1 |
| 2 | 2 | 2 | 2 | 2 |
| 3 | 3 | 3 | 3 | 3 |
| 4 | 4 | 4 | 4 | 4 |
| 5 | 5 | 5 | 5 | 5 |



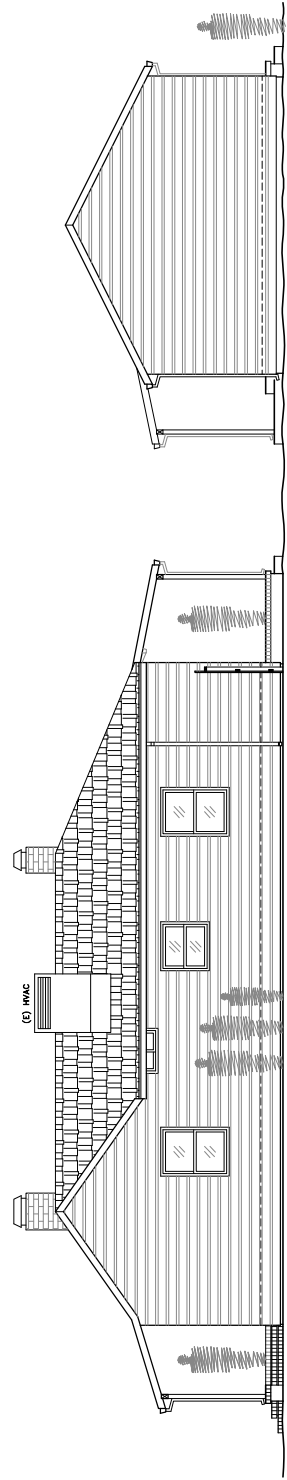
KEYPLAN

- ◇ HORIZONTAL LAP SIDING, MATCH EXISTING.
- ◇ SKYLIGHT, SEE ROOF PLAN.
- ◇ NEW RAIN GUTTER, SEE ROOF PLAN.
- ◇ NEW DOWNSPOUT, SEE ROOF PLAN.
- ◇ NEW GATE, SEE SITE PLAN.
- ◇ COMPOSITION ROOF SHINGLES, SEE ROOF PLAN.
- ◇ ENTRY STEPS, SEE FLOOR PLAN.

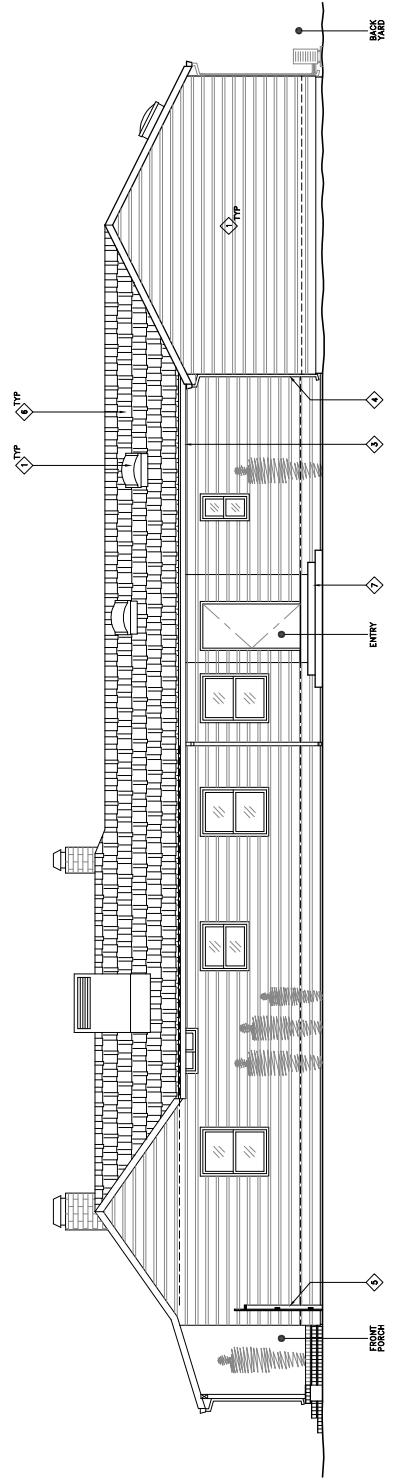
KEYNOTES

- 1) SEE FLOOR & ROOF PLANS FOR ADDITIONAL INFORMATION.
- 2) SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.

GENERAL NOTES

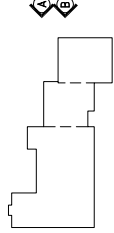


B EXISTING EXTERIOR ELEVATION - EAST
1/8" = 1'-0"



A NEW EXTERIOR ELEVATION - EAST
1/8" = 1'-0"

SUBMITTAL SET



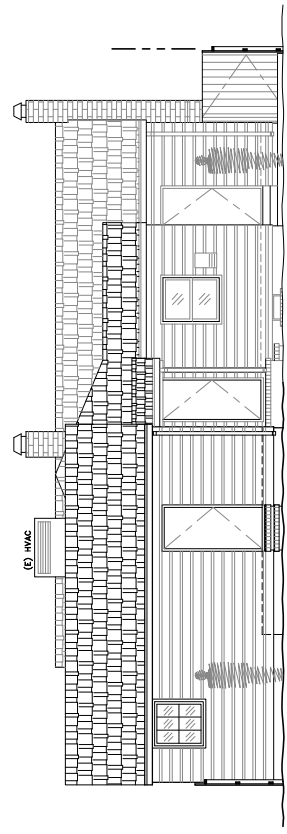
KEYPLAN

- 1 HORIZONTAL LAP SHINGS, MATCH EXISTING.
- 2 SKYLIGHT, SEE ROOF PLAN.
- 3 NEW BANI GUTTER, SEE ROOF PLAN.
- 4 NEW DOWNSPOUT, SEE ROOF PLAN.
- 5 EXISTING GATE OR FENCE, SEE SITE PLAN.
- 6 COMPOSITION ROOF SHINGLES, SEE ROOF PLAN.
- 7 NEW DECK, SEE FLOOR PLAN.
- 8 SCUPPER, SEE ROOF PLAN.
- 9 WOOD POST, SEE FLOOR PLAN & STRUCTURAL DRAWINGS.
- 10 WOOD TRUSS, SEE ROOF PLAN & STRUCTURAL DRAWINGS.
- 11 EXISTING HOT WATER HEATER, SEE FLOOR PLAN.
- 12 NEW HVAC, SEE FLOOR PLAN.

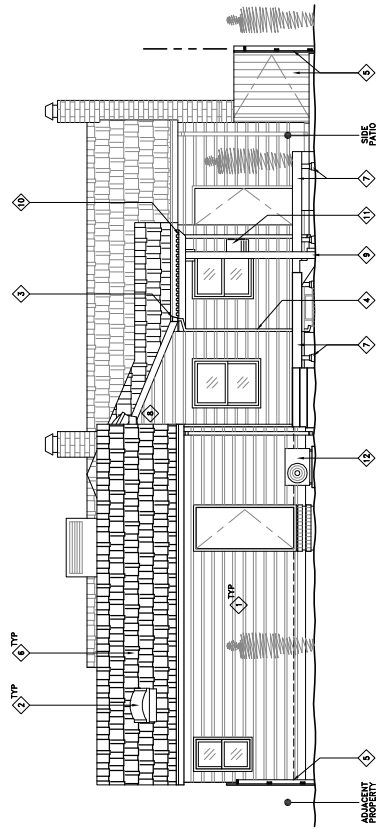
KEYNOTES

- 1) SEE FLOOR & ROOF PLANS FOR ADDITIONAL INFORMATION.
- 2) SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.

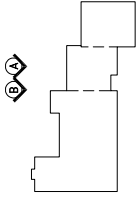
GENERAL NOTES



B EXISTING EXTERIOR ELEVATION - NORTH
1/8" = 1'-0"



A NEW EXTERIOR ELEVATION - NORTH
1/8" = 1'-0"



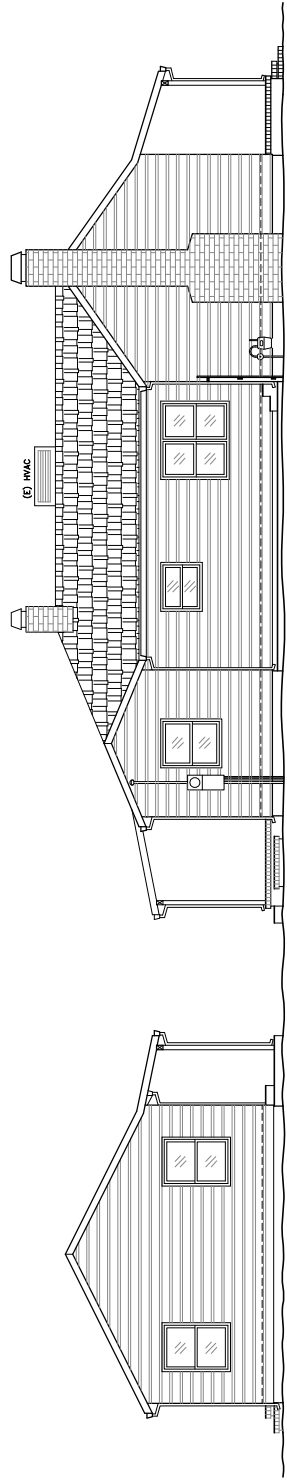
KEYPLAN

- 1 HORIZONTAL LAP SIDING, MATCH EXISTING.
- 2 BOUTIQUE, SEE ROOF PLAN.
- 3 NEW RAIN GUTTER, SEE ROOF PLAN.
- 4 NEW DOWNSPOUT, SEE ROOF PLAN.
- 5 EXISTING GATE ON FENCE, SEE SITE PLAN.
- 6 COMPOSITION ROOF SHINGLES, SEE ROOF PLAN.
- 7 NEW DECK, SEE FLOOR PLAN.
- 8 SCOFFER, SEE ROOF PLAN.
- 9 WOOD POST, SEE FLOOR PLAN & STRUCTURAL DRAWINGS.
- 10 WOOD TRUSS, SEE ROOF PLAN & STRUCTURAL DRAWINGS.
- 11 GAS METER, SEE SITE & FLOOR PLANS.
- 12 ELECTRICAL METER, SEE SITE & FLOOR PLANS.
- 13 NEW HWAC, SEE FLOOR PLAN.

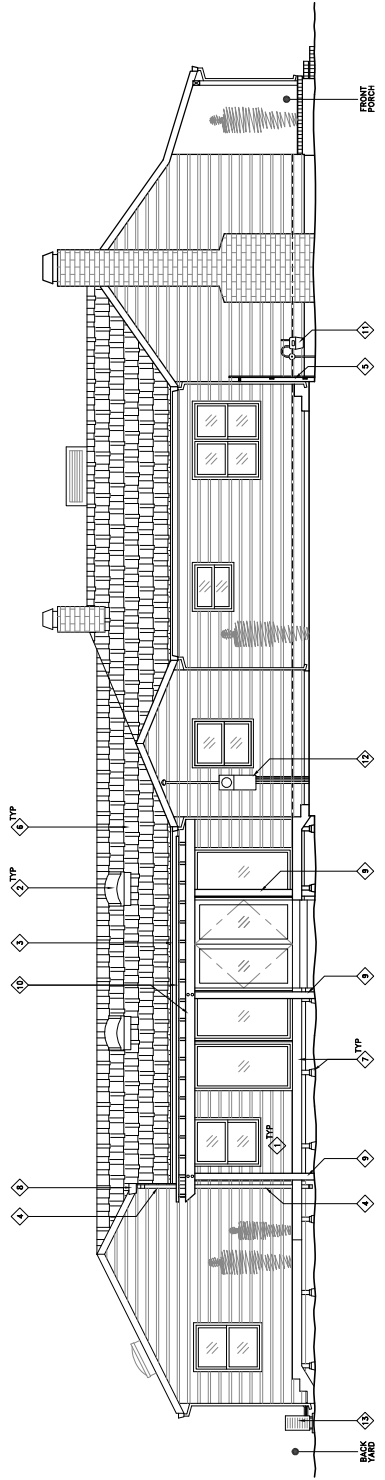
KEYNOTES

- 1) SEE FLOOR & ROOF PLANS FOR ADDITIONAL INFORMATION.
- 2) SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.

GENERAL NOTES



B EXISTING EXTERIOR ELEVATION - WEST



A NEW EXTERIOR ELEVATION - WEST